

# Town of Westport, Connecticut

## Master Plan for Jesup Green and Baron's South

September 2007

***Weston & Sampson***

Weston & Sampson Engineers, Inc.  
273 Dividend Road, Rocky Hill, CT 06067

## **EXECUTIVE SUMMARY**

The Town of Westport acting through its Board of Selectmen selected Weston & Sampson Engineers, Inc. to provide engineering services for the development of a Master Plan for the Baron's South and Jesup Green properties. During the completion of this Master Plan the Town also requested that Weston & Sampson evaluate Winslow Park for possible development associated with the Westport Weston Family Y.

The purpose of this project was to evaluate the existing Baron's South and Jesup Green properties and develop a Master Plan that will result in the best use of each property while balancing the overall needs and priorities of the Town.

The development of the Master Plan involved a number of different components to be evaluated as well as the need for specific experience in site development, infrastructure, housing, and emergency service facilities. The project team utilized for this project included a combination of Civil Engineers and Architects from Weston & Sampson Engineers, Inc., Paul B. Bailey, Architect, and Noyes Vogt Architects.

The evaluation of the Baron's South property involved a review of existing site conditions and a variety of contiguous properties and the development of conceptual alternative plans for fire, police, emergency services, animal control, Westport Weston Family Y, and housing facilities on the site. The existing property includes open green space, mature trees, walkways, steep elevation changes, residential houses, and the newly developed Senior Center located on 22.7 acres. The site is heavily wooded and provides a buffer for residential housing on Compo Road South from the commercial areas on Post Road.

In reviewing the conceptual alternatives developed, it became apparent that the best use of the property would be for development of housing. Housing will result in a less intensive development that will work with the existing slopes and topography, avoid clear cutting and result in fewer traffic concerns than more intensive developments. The development of housing is also consistent with the adjoining land uses.

A variety of adjacent properties contiguous to the Baron's South property were reviewed to evaluate whether the purchase of these properties would allow for greater development potential. Based on the review of the alternatives considered, only marginal benefit is achieved by the use of these adjacent contiguous properties. Therefore, no additional property is recommended for purchase at this time.

The evaluation of Winslow Park was focused on reviewing the impact to the property if the Westport Weston Family Y were to be located on the site. Winslow Park presently functions as a passive park area. Based on the review of site conditions and discussions with the Town, Winslow Park will not be considered for development at this time, but rather maintained for a future municipal purpose, not identified at this time.

The evaluation of the Jesup Green property included a review of existing site conditions and the development of conceptual alternative plans for locating the Westport Weston Family Y on the property, a new smaller community center, river park and walk, housing on the Imperial Avenue Parking Area, and possible other mixed use type developments. The existing property is located in the midst of downtown

Westport on Jesup Road, in close proximity to the downtown shops and merchants, and presently includes the Westport Library, Levitt Pavilion, and the existing police and emergency services buildings.

The Jesup Green property is one of a few properties owned by the Town of Westport that can provide opportunities for Westport residents to enjoy the Saugatuck River. These river views along with the existing community theater and library bring a sense of culture and arts to the overall property. The existing property is also abutted to the east by an existing historical building and historical district, further building on the themes of culture and history.

The Jesup Green property should be developed as a cultural arts area incorporating the work being completed at the Westport Library and the Levitt Pavilion to revitalize the downtown area. The existing police and emergency services building should be relocated and the overall site enhanced with a mixed use type development that enhances the site and provides connections to river walks, a river park, and the downtown shops. Additional features to be considered include the creation of a streetscape along Jesup Road and a general riverfront enhancement project along the Saugatuck River and Dead Man's Brook.

The Imperial Avenue Parking Lot will have limitations for development, since the driveway at the intersection with Imperial Avenue is below the 100-year flood elevation. Due to this limitation, the Town has chosen not to pursue housing at this time at this location. However, it should be noted that if a vehicular bridge were to be installed to the library parking lot to allow for emergency access during flooding events, a community center type building may be viable at this location. Further investigation of this is warranted if the Town chooses to pursue the development of this location with a community center.

The development plans identified for Baron's South and Jesup Green outlined within this Master Plan should be incorporated into the overall development plan for the Town.

## TABLE OF CONTENTS

1.0	INTRODUCTION .....	1-1
1.1.	Background .....	1-1
1.2.	Project Purpose .....	1-1
1.3.	Project Team .....	1-1
2.0	MEETINGS AND COORDINATION .....	2-1
2.1.	General .....	2-1
2.2.	Animal Control .....	2-1
2.3.	Fire Department .....	2-2
2.4.	Human Services Department .....	2-2
2.5.	Library and Levitt Pavilion .....	2-3
2.6.	Police and Emergency Services Department .....	2-3
2.7.	Westport Weston Family Y .....	2-4
3.0	ENVIRONMENTAL REVIEW .....	3-1
3.1.	Baron's South .....	3-1
3.1.1.	Background Information .....	3-1
3.1.2.	Documented Investigations .....	3-1
3.1.3.	Aerial Photographs Review .....	3-3
3.1.4.	Additional Environmental Review .....	3-3
3.1.5.	Conclusions .....	3-4
3.2.	Jesup Green .....	3-5
3.2.1.	Background Information .....	3-5
3.2.2.	Documented Investigations .....	3-6
3.2.3.	Aerial Photographs Review .....	3-7



3.2.4.	Additional Environmental Review.....	3-8
3.2.5.	Conclusions.....	3-8
4.0	BARON’S SOUTH.....	4-1
4.1.	General Site Information.....	4-1
4.2.	Site Impressions.....	4-1
4.3.	Zoning.....	4-1
4.4.	Adjacent Development.....	4-1
4.5.	Site Access and Traffic.....	4-2
4.6.	Topography, Soils, Wetlands, and Waterbodies.....	4-2
4.7.	Available Infrastructure.....	4-3
4.8.	Development Concepts Evaluated.....	4-3
4.9.	Emergency Services Facility.....	4-3
4.10.	Westport Weston Family Y.....	4-4
4.11.	Housing Development.....	4-5
5.0	WINSLOW PARK.....	5-1
5.1.	General Site Information.....	5-1
5.2.	Site Impressions.....	5-1
5.3.	Adjacent Development.....	5-1
5.4.	Westport Weston Family Y.....	5-1
6.0	JESUP GREEN.....	6-1
6.1.	General Site Information.....	6-1
6.2.	Site Impressions.....	6-1
6.3.	Zoning.....	6-2
6.4.	Adjacent Development.....	6-2
6.5.	Site Access and Traffic.....	6-3

6.6.	Topography, Soils, Wetlands, and Waterbodies .....	6-3
6.7.	Available Infrastructure .....	6-3
6.8.	Development Concepts Evaluated .....	6-4
6.9.	Westport Weston Family Y .....	6-4
6.10.	Community Center .....	6-4
6.11.	Riverfront Park and River Walk .....	6-5
6.12.	Work Force Housing on the Imperial Avenue Parking Area .....	6-5
6.13.	Mixed Use Development .....	6-6
7.0	RECOMMENDATIONS .....	7-1
7.1.	Baron’s South.....	7-1
7.2.	Winslow Park.....	7-2
7.3.	Jesup Green.....	7-2

## **LIST OF APPENDICES**

Appendix A	Aerial Map, Existing Conditions Plan and Zoning Map
Appendix B	Environmental Map
Appendix C	Conceptual Layouts for Baron's South
Appendix D	Conceptual Layouts for Westport Weston Family Y
Appendix E	Conceptual Layouts for Jesup Green
Appendix F	Sample Renderings
Appendix G	Housing Summit Presentation Materials
Appendix H	Meeting Notes for Animal Control, Emergency Services, Fire and Police Departments

## **1.0 INTRODUCTION**

### **1.1. Background**

The Town of Westport acting through its Board of Selectmen selected Weston & Sampson Engineers, Inc. (Weston & Sampson) to provide engineering services for the development of a Master Plan for the Baron's South (Baron's) and Jesup Green properties. The location of Baron's South and Jesup Green are shown on the Aerial Map and Existing Conditions Plan included within Appendix A. The existing properties are located in Westport and presently are occupied by:

- Jesup Green: Police Department, Library, and the Levitt Pavilion.
- Baron's South: Senior Center and Existing Residential Buildings with limited use.

During the completion of this Master Plan the Town also requested that Weston & Sampson evaluate Winslow Park for possible development associated with the Westport Weston Family Y.

### **1.2. Project Purpose**

During the meetings with the Town a project purpose statement was developed to assist in guiding the overall Master Plan Development, which is:

“To Evaluate the Existing Baron's South and Jesup Green Properties and Develop a Master Plan that will result in the Best Use of Each Property While Balancing the Overall Needs and Priorities of the Town of Westport.”

### **1.3. Project Team**

The development of the Master Plan involved a number of different components to be evaluated as well as the need for specific experience in site development, infrastructure, housing, and emergency service facilities. The project team utilized for this project included a combination of Civil Engineers and Architects from three (3) separate firms as outlined below:

#### Daniel R. Lawrence, P.E., Weston & Sampson Engineers, Inc.

Mr. Lawrence is a professional civil engineer and provided project management and related site development and evaluation services for the project.

#### Paul B. Bailey, Architect, Paul B. Bailey Architect, LLC

Mr. Bailey is a professional architect and provided services related to the evaluation and development of housing for the project.

#### Mary Clark, Architect, Noyes Vogt Architects

Ms. Clark is a professional architect and provided services related to the evaluation and development of the police station, fire department, emergency services facility, and the animal control facility.

## **2.0 MEETINGS AND COORDINATION**

### **2.1. General**

This section of the Master Plan summarizes the meetings and coordination that was completed during the project. This phase was critical to evaluate the needs and long-term goals of the various groups and stakeholders for the project. Meetings were held with the following groups and stakeholders to gain input and receive feedback on the project:

- Animal Control
- Emergency Services Department
- Elected Officials
- Fire Department
- Human Services Department
- Library
- Levitt Pavilion
- Police Department
- Planning and Zoning
- Town Department Heads
- Representatives from the RTM and Board of Finance
- Westport Weston Family Y

A summary of the meetings held with various stakeholders is provided below. The meetings held with the elected officials, town department heads, and the representatives from the RTM and board of finance were held for the purpose of providing project updates and to obtain feedback on the overall direction of the project. Specific notes from these meetings are not included.

### **2.2. Animal Control**

Ms. Mary Clark from Noyes Vogt met with the Town of Westport Animal Control Department to review the existing operations and discuss the long-range goals and plans for the Animal Control Facility. The existing facility is located at the same location as the Wastewater Treatment Facility. The existing facility is located remotely from other Town Facilities and not readily available to the general public. The existing facility also does not have adequate space to accommodate all the required services that the Animal Control Facility presently provides.

A new facility is needed, which would require the following general components:

- Kennels (12 to 18) and required outside run areas for the animals.
- Isolation and food storage areas.
- Office space.

A facility of this size would be 2,500 to 4,000 square feet with a required development area of 0.5 to 1.0 acres. The actual size of the area needed would be dependent on the topography of the site and the configuration of the available land. Ideally the Animal Control Facility would be jointly located with the Police Department to allow for greater cooperation among the departments.

### **2.3. Fire Department**

Ms. Mary Clark from Noyes Vogt met with the Town of Westport Fire Department to review the existing operations and discuss the long-range goals and plans for the Fire Department. The existing facility is 18,000 square feet and is located on Post Road on 1.28 acres. The Fire Department shares this facility with the Building Department. Both the Fire Department and Building Department consider the sharing of space desirable. The Fire Department has presently outgrown the present location and is need of an expansion to address the existing and future needs of the department. The facility needs to address the following:

- Larger bays and doors for equipment.
- Communication center improvements.
- Separate emergency response room.
- Office space and record storage.
- Site access and parking improvements.

A facility of this size would be 22,000 and 24,000 square feet with a required development area of 2.5 to 3.5 acres. The actual size of the area needed would be dependent on the topography of the site and the configuration of the available land. The existing site does not have adequate space to expand without acquiring adjacent property not presently owned by the Town.

### **2.4. Human Services Department**

Mr. Bailey (Paul Bailey Architects) and Mr. Lawrence (Weston & Sampson) met with the Town of Westport Human Services Department to review the housings needs for the Town of Westport. The Human Services Department provided a copy of the Housing Summit Presentation given in December of 2006 that noted the following information related to the Town:

- The State of Connecticut has established a goal that 10% of the housing in Westport meet the affordable housing guidelines.
- Westport has approximately 2.19 % or 220 units of affordable housing. Westport needs 787 additional units of affordable housing to meet the goal of 10% established by the State of Connecticut.
- There is a need to serve families who have an income of \$85,000 to \$158,894 per year, which is defined as “Work Force Housing”.
- The Town of Westport has an aging population with largest percentage of people in the 35 to 59-age category. This indicates a need to develop Senior Housing to meet the needs of the aging population.
- Housing options are needed to serve the community.

Based on the needs of the community outlined in the Housing Summit and discussions with the Human Services Department it was determined that the Master Plan should evaluate the feasibility of locating the following types of housing:

- Senior Housing.
- Mixed Income Housing.

The areas considered for housing development included Baron's South and the Imperial Avenue Parking Lot area on Imperial Avenue. These areas are shown on the Aerial Map included within Appendix A.

## **2.5. Library and Levitt Pavilion**

Mr. Lawrence of Weston & Sampson met with representatives from the Town of Westport Library and the Levitt Pavilion. At the time of the meeting both organizations had recently selected Architectural / Engineering Teams to begin conceptual planning of improvements to the facilities. Drawings of the proposed improvements were not available. However, based on the meeting the following improvements are to be included:

### Library

- Proposed expansion to better serve the community. The proposed expansion will include additional square footage, but will not increase the existing footprint of the building on the site.
- Parking requirements will roughly remain the same.
- Modify entrance and exits to allow for better visibility and overall function of the building.

### Levitt Pavilion

- Replacement of the existing pavilion, addition of bathrooms, and upgrade of site landscaping and views to the Saugatuck River.
- Parking requirements should remain the same.

During the meeting representatives from the Library and the Levitt Pavilion reinforced their desire to work together and to continue to share resources, such as the parking areas. This accomplished by coordinating scheduled events to share parking.

## **2.6. Police and Emergency Services Department**

Ms. Mary Clark from Noyes Vogt met with the Town of Westport Police Department and the Town of Westport Emergency Services Department to review the existing operations and discuss the long-range goals and plans for each of the departments.

The existing facility is located on the Jesup Green property and includes the following:

- Police Department uses 21,800 square feet of the building, which includes the general police area, firing range, and vehicle maintenance.
- Emergency Services Department uses 5,200 square feet of the building.

- The two departments share an additional 3,700 feet of the building.

The existing Police and Emergency Service Departments utilize 3.7 acres of the Jesup Green property. Based on a review of the existing facilities and discussions with the departments the following improvements are needed:

#### Police

- Public access and police privacy need to be improved.
- Firing range needs improvements.
- Additional space is needed for office space, evidence room, and record storage.
- Site improvements are needed to create a more functional facility including covered parking and modified parking and driveway layouts.

#### Emergency Services

- Vehicle storage areas need to be expanded to allow for covered storage.
- Additional space is needed for office space, record storage, and residential quarters.

The existing facility should be able to be modified in its present location or relocated to a new site. A new facility would be approximately 36,000 square foot facility with a required development area of 3.5 to 4.5 acres. The actual size of the area needed would be dependent on the topography of the site and the configuration of the available land. It should be noted that if the existing facility is to be renovated in its present location a detailed study of the feasibility of this alternative should be completed to address how each of the needs of the departments would be addressed.

### **2.7. Westport Weston Family Y**

Mr. Lawrence of Weston & Sampson met with representatives from the Westport Weston Family Y to review the development proposed for a new facility on their Mahakeno property located off of Sunny Lane in Westport. The proposed facility has been planned and designed to the 50% design stage. The Y has submitted the plans to the Town of Westport wetlands and zoning commissions for approval. Weston & Sampson was provided a copy of the 50% Design Drawings dated March 17, 2006, for review and use. During the meeting the Westport Weston Family Y indicated that the facility design for Sunny Lane is the ideal Y facility and the building size cannot be reduced. They also indicated they would not consider development on the Imperial Avenue Parking Lot Area or the Jesup Green Property.

For the purpose of evaluating if a facility of similar size and layout could be developed on Baron's South, Jesup Green or Winslow Park, the existing plans were reviewed. While it is recognized that the existing facility designed by the Westport Weston Family Y could be redesigned, it was not within the scope of this study. The intent was to utilize the proposed facility as designed to evaluate if a development of this scale would be practical on the various properties considered. In general the proposed development includes the following:

- Proposed facility has a building footprint of approximately 63,000 square feet.
- Proposed parking is between 300 and 400 spaces, depending on the final usage determination.



- Total land area needed for site development would be between 6.5 and 8.0 acres. This could be reduced if structured parking were to be utilized.

### 3.0 ENVIRONMENTAL REVIEW

A preliminary environmental review of site information was completed for the Baron's South and Jesup Green properties using information contained within the Town of Westport files and the Connecticut Department of Environmental Protection (CT DEP) files. The review included ownership history and historical aerial photographs for each of the sites. Additionally, an on-line radius search of applicable state and federal environmental databases was completed. A map showing the areas of concern identified is included in Attachment B.

#### 3.1. Baron's South

##### 3.1.1. Background Information

The Baron's Estate property located on Compo Road South and Imperial Avenue is approximately 23 acres in size. The property consists of 52, 68, 70 and 72 Compo Road South and 23 Imperial Avenue, with approximately 19 acres of unimproved land between the parcels. The area of the site has historically been residential and commercial. The majority of the site is residential with the exception of the northern 200 feet of the site, which wraps around the gas station at 322 Post Road East. The residential buildings were constructed between 1910 and 1958. Four of the buildings have reportedly been unoccupied since 1989. The Baron's South property is part of the former estate of Baron Walter Langer von Langendorf of Evyan Perfumes. A senior center is located in the northwest section of the site, on 21 Imperial Avenue.

In the Phase I Environmental Site Assessment (ESA) completed in April 1998 by Environmental Risk Limited (ERL), six potential areas of concern were identified. These included seven underground storage tanks (USTs) associated with the site buildings, a self standing on-site chemical laboratory, a second chemical laboratory located within one of the five residential buildings, a greenhouse, and two on-site garages. Off-site concerns include a furniture refinisher to the east, two service stations to the north (Westport Sunoco located at 322 Post Road East, and Westport Mobil located at 302 Post Road East), and Dattco, Inc, (The Massiello Bus Company) located to the north, at 304 Post Road East. A UST is located at the bus depot.

##### 3.1.2. Documented Investigations

Available reports contained in CT DEP files were reviewed as well as Westport Planning and Zoning Department files and the Historical Society files. The following reports were preliminarily reviewed:

- *Properties of Suzanne Barrie, Trustee Post Road East, Compo Road South and Imperial Avenue – Westport Connecticut, Wellspeak, Dugas & Kane, March 1997;*
- *Phase I, ESA, Environmental Risk Limited (ERL), May 1998;*
- *Phase II, ESA, ERL, June 1998;*

- *Finance Committee Report, First Selectman and the Board of Finance, June, 1998 Phase II Environmental Site Assessments, AKRF, Inc., & ERL August 1998.*
- *AKRF Report Review, August 1998.*
- *Summary of Investigation Findings, Wake, See, Dimes & Bryniczka, September 1998.*

In general these reports document soil and groundwater sampling that has been conducted at the site. Soil sampling has been conducted in 24 locations in the vicinities of the areas of concern previously identified, as well as in the vicinity of the septic system at 52 Compo Road South and from the soil piles present on-site. Groundwater sampling has also been conducted in the central and eastern sections of the site. None of the previous reports indicated the presence of areas of soil contamination requiring remediation on the Baron's property. Soil samples collected from the soil piles stored on-site contained total petroleum hydrocarbons (TPH) at concentrations exceeding the CT DEP Residential Direct Exposure criteria (RES DEC) and the GA Pollutant Mobility Criteria (GA PMC). Groundwater samples collected at the site indicated that tetrachloroethylene (PCE) was present in the groundwater at concentrations that exceed the CT DEP Groundwater Protection Criteria (GWPC). Also, cis-1,2-dichloroethylene (cis1,2 DCE), a break down product of PCE was detected at a level below the Remediation Standard Regulations (RSR) criteria. Both AKRF and ERL identified a dry cleaning establishment located 0.3 miles north and east of the site along Post Road as a possible source of PCE. It is the current CT DEP policy that a downgradient owner is not responsible for remediating groundwater contamination flowing onto the property from another site if the contamination is a result of an off-site source. A public water system is available to the area that limits the potential for human exposure to groundwater contamination. The Town's attorneys concluded that inhalation of contaminant vapors was either remote or minimal, there is no health hazard. The waste associated with the perfume experimentation from the laboratory on-site was removed on June 1, 1998. No ethers or chlorinated solvents were detected in these materials.

On May 14 and 15, 1998, ERL personnel collected soil samples from twenty-four locations in the vicinity of the areas of concern previously identified, as well as in the vicinity of the septic system at 52 Compo Road. ERL also attempted to collect groundwater samples at five locations but were only successful in collecting two groundwater samples. According to the report completed by ERL dated May 29, 1998, there was no contamination found in the soil samples collected from around the seven storage tanks, or around the fragrance laboratory. A sample taken around the greenhouse contained no pesticides or polychlorinated biphenyls (PCBs) above the detection limits. However, (PCE) was detected in the groundwater at a concentration exceeding the CT DEP GWPC in the vicinity of an auto storage garage. Also in May 1998, cis-1,2-DCE, was detected at a level below the RSR criteria. TPH and other volatile organic compounds (VOCs) were also below the laboratory detection limits in the soil and groundwater samples in May 1998.

According to the August 11, 1998 report completed by AKRF, soil samples collected on June 25, 1998 from the soil piles stored on-site by others contained TPH at concentrations exceeding the

CT DEP RES DEC and the GA PMC. No other compounds exceeded the CT DEP Remediation Standard Regulations (RSRs).

Groundwater monitoring wells were installed by AKRF on June 25 and 26. Three groundwater samples taken from the central and eastern sections of the site on June 4, 1998, confirmed that PCE was detected in the groundwater throughout a large portion of the site, at levels that exceed the GWPC and that the PCE likely originated from an off-site source. A dry cleaning establishment located north and east of the site along Post Road was identified as a possible source. Except for PCE, cis 1,2 DCE, and trichloroethylene (TCE), all other VOCs were below the laboratory detection limits in the groundwater samples in June 1998.

According to the AKRF report, on June 29, 1998, AKRF personnel observed and documented the removal of waste associated with the perfume experimentation from the laboratory on the site. Approximately 1,200 pounds and 165 gallons of solid waste that exhibited the characteristic of ignitability and 12 pounds of cyanides (soluble salts and complexes) was packaged and transported to a licensed disposal facility in Arkansas. No ethers or chlorinated solvents, PCE or TCE were found in the materials removed. Currently, no perfume making materials remain on site.

#### *3.1.3. Aerial Photographs Review*

Aerial photographs from 1934, 1951, 1965, 1970, 1980, and 1990 for the area of the site were reviewed. The aerial photographs show that most of the site is densely vegetated, with roads or driveways connecting the roads to the buildings. Several buildings are seen throughout the site and along Imperial Avenue. The off-site bus depot and gas stations can be seen in all photographs since 1934. The senior center and the gas stations are not shown in any of the Sanborn Maps, however the gas stations and other buildings are in the 1923 – 1940 maps.

#### *3.1.4. Additional Environmental Review*

An on-line radius search (based on ASTM standards) of applicable state and federal environmental databases was completed using FirstSearch Technology Corporation of Dedham, Massachusetts. The Environmental FirstSearch™ Report (FirstSearch™ Report) is dated February 21, 2007. According to the search, there is one state site, two spills that have occurred since 1990, three regulated USTs and one leaking underground storage tank (UST) located within 1/8<sup>th</sup> mile of 31 Imperial Avenue, which is considered the center of the Jesup Green and Baron's South Property (the site). Four state sites, 31 spills, seven USTs, and 12 leaking USTs have occurred with 1/4 mile of the site. The largest spill was 18 gallons. All the release cases have been closed.

State Sites on or within ¼ mile of the site are:

- The Westport Landfill/Library, also known as the Jesup Green at 20 Jesup Road. (Suspected). This site is also a Comprehensive Environmental Response, Compensation, and Liability Information System (CERCLIS) site.
- The State Cleaners of Westport, Inc, located at 224 Post Road East.

USTs on or within ¼ mile of the site are:

- 2,000 and 6,000 gallon UST's located at the Westport Police Department, at 50 Jesup Road.
- One 4,000 gallon UST located at 302 East Post Road. However, 5,000, 6,000 and two 10,000-gallon tanks have been removed.
- 550 gallon UST located at 21 Imperial Street, which was removed after a tank failure.

The leaking underground storage tanks (LUSTs) on or within ¼ mile of the site are:

- On July 15, 1992, #2 fuel oil was released due to an in-ground tank failure at 72 Compo Road South. The tank was removed.
- On February 4, 2002, #2 fuel oil was released due to an in-ground tank failure at 21 Imperial Street. The spill was contained and the oil pumped out. The 550-gallon UST was removed and no free product was detected (case number 2002-00722).
- On July 7, 2000, #2 fuel oil was released due to an in ground tank failure at 68 Compo Road South. The 1,000-gallon UST was removed with no free product and no groundwater impact. (2000-04955).

Spills on or within ¼ mile of the site with a significant volume of release are:

- On September 18, 1998, 18 gallons of hydraulic oil was released at the public library due to a hose failure. The soil was removed (case number 98-06329).
- On July 7, 1999, 5 gallons of diesel fuel was released due to a hose failure at the Mobil Station at 302 East Post Road. The spill was Speedy Dried (case number 99-04474).
- On March 20, 2006, 5 gallons of diesel fuel was released due to a hose failure at the Mobil Station at 302 East Post Road. The spill was Speedy Dried (case number 2006-04569).
- On January 22, 2003, #2 fuel oil was released from an in ground tank failure at 72 Compo Road. The 550-gallon UST was removed (case number 2003-00391).

### *3.1.5. Conclusions*

Based on information reviewed in this preliminary evaluation, the Baron's South property can be developed but will need to address the following environmental issues:

- Future construction will need to account for the presence of USTs, possible soil impacts, and groundwater contamination.
- Site development activities will have to be conducted in a manner that complies with the CT Remedial Standard Regulations.
- The soil piles stored on site containing TPH should be removed and transported to a licensed hazardous waste facility.
- According to ERL, six potential areas of concern were identified, including seven USTs associated with the site buildings, a self standing on-site chemical laboratory, a second chemical laboratory located with one of the five residential buildings, a greenhouse, and two on-site garages.

## **3.2. Jesup Green**

### *3.2.1. Background Information*

Information contained in CT DEP records indicates that the Jesup Green property consists of the Westport Library/Landfill and Police Station properties. The police station was built in 1952, and the library was built in 1986. According to the property field cards, the parcel total land area for the library and police station properties is 10.55 acres. According to Stephen Edwards, the Director of Public Works, the Westport's library was connected to sanity sewer and public water at the time of its construction. The Levitt Pavilion, an outdoor amphitheater constructed in 1986, is also located on the southwest tip of the site. A landscaped river walk, completed in 1991, is located along the bank of the river. The only portions of the property not developed are the banks of the Saugatuck River and Dead Man's Brook, which are overgrown with brush and other vegetation.

The site is bordered to the north by Jesup Road, to the west by the Saugatuck River, and to the east by Dead Man's Brook, a tidally influenced brook branching from the river. A pedestrian bridge runs across Dead Man's Brook, connecting the library with the Imperial Avenue Parking Lot. This parking lot is southwest of the library, with entrances on Imperial Avenue. North of the property are a municipal parking lot, commercial and professional office buildings and retail operations.

A large portion of the site has historically been a landfill. The library was built on top of the completed landfill soil in 1986. The content of the soils in the landfill underneath the library have been an area of potential concern to the public. According to Stephen Edwards, the landfill became active in the 1950s. The southwestern tip of the site, below the library has been vacant, until the construction of Levitt Pavilion. The approximate limits of the landfill are shown on the Environmental Map included within Appendix B.

### 3.2.2. Documented Investigations

Available reports contained in CT DEP files were reviewed as well as Westport Planning and Zoning Department files and the Historical Society files. The following reports were preliminarily reviewed:

- *Results of Limited Service Health Survey – Visit Number 500909502*
- *Final Site Inspection Prioritization Report for Westport Landfill/Library, Roy F. Weston, Inc., June 1995*

In general these reports document soil, sediment, and groundwater sampling that has been conducted at the Westport landfill. Soil and sediment sampling has been conducted near the wooden pilings used to support the library along the bank of the Saugatuck River and Dead Man's Brook. The presence of VOCs and semivolatile organic compounds (SVOCs) were detected in the soil and sediment samples collected by NUS Corporation Field Investigation Team (NUS/FIT). The highest concentration of SVOCs detected was located next to several wooden pilings that provide support for the library. On July 20, 1994, Roy F. Weston Inc, conducted soil and sediment sampling at the Westport Landfill. Four VOCs, one SVOC, six pesticides, and 11 inorganic elements were detected at concentrations equal to or greater than respective reference values. One SVOC, di-n-butylphthalate was detected in a sample collected from along the river at concentrations of 2,900 and 160 parts per billion (ppb) which exceeds the GA PMC. The concentrations of inorganic elements ranged from one sample detection limit to 16 times the reference sample value.

According to a letter written by the CT DEP and sent to Joseph Lieberman on April 2, 1985, soil samples taken by Legett, Brashears & Graham, Inc. from the landfill at the Westport library indicated that the material is not Extraction Procedure (EP) Toxic and there are no excessive levels of priority pollutants present, and that dioxin is not present within detectable levels. These samples were taken to an elevation of six feet below the mean sea level, and soil was excavated to a depth of 11.5 feet. The materials from the landfill are neither hazardous nor in need of any sort of special handling or disposal other than burial in a lawfully open sanitary landfill. A visual inspection of the material being excavated noted that the materials were well decomposed and mostly soil.

On May 28, 1985, 10 soil samples were collected at random locations at varying depths from one to 10 feet, throughout the site and screened for VOCs by NUS/FIT. According to NUS/FIT, trichloroethane was the most commonly detected compound, followed by benzene, toluene, and PCE. According to the organic analyses, the presence of VOCs and SVOCs were detected in the soil and sediment samples collected by NUS/FIT. Carbon disulfide, chloroform, and PCE were detected in four of the samples. SVOCs were detected in every soil sample. The highest concentration of SVOCs detected was located next to several wooden pilings driven into the ground to provide support for the library. These pilings are often soaked in creosote to help preserve the wood and are a potential source of these compounds. No PCBs or pesticides were

detected, except for chlordane and 4, 4-DDT. Most of the metals detected were present at concentrations within normal ranges for soils found in the background sample and concentrations generally found in this area. Arsenic and lead were detected at higher levels than expected. According to NUS/FIT, contractors hauled away soil from the landfill during the construction of the library. According to NUS/FIT, the VOCs that are present at low levels in the soils of the landfill are likely to vent through the air ventilation duct for the methane. The town wells located on the opposite side of the Saugatuck River are located upgradient of the site.

According to the results of a limited health survey, visit number 50090952, the Westport Library was built over the completed Westport town landfill in 1986. The landfill was previously used for municipal solid waste and a landfill cover consisting of a polyethylene membrane was added after it was closed in 1972. Since the construction of the library, pilings have been failing and breaking from under the original portion of the building causing the foundation to sink.

The Final Site Inspection Prioritization Report for Westport Landfill/Library, Roy F. Weston, Inc., was completed in June, 1995 and indicated that the Westport landfill/library is a Comprehensive Environmental Response Compensation and Liability Information System (CERCLIS) site.

A letter sent by the CT DEP to the Westport Town Hall on April 12, 2004, recommended further evaluation property as a potential hazardous waste disposal area under the federal Superfund program.

According to the Final Inspection Prioritization Report completed by Roy F. Weston, in June 2005, currently no hazardous wastes are generated on the site. However subsurface investigations and soil characterizations completed prior to the construction of the library indicated that methane gas was present in the soil. The soil now contains a piping system with 12 methane sensors for venting methane in the crushed stone layer, has been installed in the soil, with controls in the library. The exhaust system automatically turns on when the sensors detect methane. The methane monitoring system is located in the basement of the one-story library building made of brick, concrete and masonry.

### *3.2.3. Aerial Photographs Review*

Aerial photographs from 1934, 1951, 1965, 1970, 1980, and 1990 for the area of the site were reviewed by Weston & Sampson. All photographs from 1934 to 1985 indicate that the southwestern tip of the site below the library has been vacant until the construction of Levitt Pavilion. According to the 1934 aerial photo, and the 1955 historical photograph, the peak of land previously only extended to just north of the library. According to the 1960 aerial photo, the edge of the peak began halfway through the parking lot north of the library, sloping southeast towards the northeast corner of the library, towards the front of the police station, reaching Dead Man's Brook. The River was filled to create the landfill and two town parking lots across the brook. Dead Man's Brook was extended and the pedestrian bridge was added. The landfill operations are visible in the 1960 to 1970 aerial photographs. The historical photograph dated 1976 shows the



police department and the Levitt Pavilion. The library was built in 1986 and is visible in the 1990 aerial photograph.

#### *3.2.4. Additional Environmental Review*

An on-line radius search (based on ASTM standards) of applicable state and federal environmental databases was completed using FirstSearch Technology Corporation of Dedham, Massachusetts. The Environmental FirstSearch™ Report (FirstSearch™ Report) is dated February 21, 2007. The search completed was the same search completed for the Baron's South property. A summary of the search data is presented in Section 3.14.

Additional information not included within Section 3.1.4, is noted below.

The Westport fire department file notes that on January 21, 2005, a 2,000-gallon UST was cleaned and removed from the Westport Police Headquarters at 50 Jesup Road. Approximately 240 gallons of residual oil, sludge, and rinse water was pumped out of the tank. A soil sample collected from beneath the UST detected <50 parts per million (ppm) TPH.

#### *3.2.5. Conclusions*

Based on information reviewed in this preliminary evaluation, the Jesup Green property can be developed but will need to address the following environmental issues:

- Future construction will need to account for the presence of possible soil impacts, landfill materials, methane gas migration, and groundwater contamination.
- Site development activities will have to be conducted in a manner that complies with the CT DEP Remediation Standard Regulations (RSRs).
- The Westport landfill/library is a Comprehensive Environmental Response Compensation and Liability Information System (CERCLIS) site.
- The presence of VOCs and SVOCs were detected in the soil and sediment samples.
- One SVOC, di-n-butylphthalate, was detected in a soil sample collected from along the river at concentrations exceeding the GA PMC.
- The soil along the river containing di-n-butylphthalate at concentrations exceeding the GA PMC should be removed and transported to a licensed disposal facility.

## **4.0 BARON'S SOUTH**

### **4.1. General Site Information**

The Baron's South property was purchased by the Town of Westport in 1998 for municipal uses. The existing property is 22.7 acres and includes several residential properties and a newly developed Senior Center. As noted on the aerial photograph of the project site, the existing lot is heavily wooded and provides a buffer between the residential housing on Compo Road South and the commercial areas on Post Road.

### **4.2. Site Impressions**

The Baron's South property is a beautiful property with open green space, mature trees, walkways, steep elevation changes, residential houses, and the newly developed Senior Center. The development of the property should protect the existing resources to the extent practical and look to work with the existing site elevation changes. This type of development will eliminate clear cutting of the trees on the property and will blend more readily into the residential development that bounds the site on the south, east, and west. For these reasons, intensive developments were not considered prudent for the development of the Baron's South property.

### **4.3. Zoning**

The Baron's South property is presently zoned as Residence District AA. The purpose of the AA District is to allow single-family residences on a minimum one-acre lot. The AA District provisions are intended to encourage low-density residential development for primarily residential and related purposes in areas served primarily by on-site sewage facilities. Permitted uses in this zone are same as those in the Residence AAA District.

Special Permit Uses for this District include government buildings facilities and uses including: recreation facilities, municipal office buildings, administrative headquarters, fire stations, police facilities, sewage and refuse disposal facilities, vehicle and material storage depots, parking lots, sanitary landfill operations, and other similar buildings and uses. There are other special permit uses outlined in the regulations, but do not apply to this project and therefore have not been listed.

Special Permit Uses Subject to Special Conditions for this District include elderly housing, affordable and middle-income housing on Town-owned property, and supportive housing. There are other special permit uses outlined in the regulations, but do not apply to this project and therefore have not been listed.

### **4.4. Adjacent Development**

The Baron's South property is bounded by Post Road East to the north, private property to the south, Compo Road South to the east, and Imperial Avenue to the west. The existing development in each of these areas is summarized below:

<u>Post Road East (north):</u>	The existing development in this area includes commercial properties on the south side of Post Road and Winslow Park and the Playhouse to the north of Post Road.
<u>Private Property(south):</u>	The existing development in this area includes residential properties located on a dead end street.
<u>Compo Road South (east):</u>	The existing development in this area includes commercial property on the east side of Compo Road South at the intersection with Post Road and residential properties for the remainder.
<u>Imperial Avenue (west):</u>	The existing development in this area includes a mix of commercial (offices) and residential properties. This area of the site also includes the newly developed Senior Center with site access off of Imperial Avenue.

Aerial Photographs showing the development on and adjacent to the site are included within Appendix A.

#### **4.5. Site Access and Traffic**

The Baron's South site has access from Post Road East, Compo Road South, and Imperial Avenue. The area around the site is heavily traveled with significant traffic congestion during the typical high traffic periods of the day. The traffic around the site is controlled by three traffic lights on Post Road East located at Compo Road South, the Bus Depot, and Imperial Avenue. Development of any kind will be limited by the access points, existing traffic congestion, and traffic lights; and therefore less intensive developments should be a priority for the site.

#### **4.6. Topography, Soils, Wetlands, and Waterbodies**

The existing site topographic plan is included within Appendix A. As shown the grade changes are from an elevation of 30 to an elevation of 120 feet. The elevations at critical areas of the site are as follows:

- 50 to 70 feet along Post Road East.
- 70 to 80 feet along Compo Road South.
- 30 to 40 feet along Imperial Avenue.

The elevation changes on the site indicate that any site development that occurs will need to plan on working with the changes in the grades and avoiding large excavations as much as practical. Based on the existing soils information from the Senior Center Development and the environmental reports it appears the site consists primarily of sands and gravel, which will allow for grade changes without the need for extensive blasting.

The site includes two (2) small wetland areas that are shown on the Existing Conditions Plan included within Appendix A. Dead Man's Brook is also located to the west side of Imperial Avenue in the area of the site access to the Senior Center. The site does not contain a FEMA Flood Zone A. Given the limited

wetland resource areas on site it appears that development could occur without major impact to wetland resource areas.

#### **4.7. Available Infrastructure**

The following utilities are available adjacent to the site:

Water: Public water from Aquarion located on Post Road, Imperial Avenue and Compo Road South. Based on the level of development in the area, it appears that there would be adequate water pressure to support the required development. This should be confirmed with the water company.

Sewer: Public sewer located on Imperial Avenue would likely be utilized for the project development.

Drainage: The existing site drains in all directions. Based on the existing topography it would be the intent to drain most of the project development toward Imperial Avenue with a discharge to Dead Man's Brook. Based on the existing soil conditions, infiltration of stormwater will be possible, thereby limiting the peak flow and volume of stormwater that would be discharged.

The availability of electric and gas was not confirmed as part of the development of the Master Plan.

#### **4.8. Development Concepts Evaluated**

The Baron's South property includes 22.7 acres of land, with some development. As part of the overall development evaluation the following alternatives were considered:

- Fire, Police, EMS (Emergency Services Facility), and Animal Control Facility.
- Westport Weston Family Y.
- Housing including Senior Housing, Work Force Housing, and Mixed Income Housing.

A summary of each of the alternatives reviewed is presented in Sections 4.9, 4.10, and 4.11.

#### **4.9. Emergency Services Facility**

A major consideration in the development of the Master Plan was to determine if an Emergency Services facility could be located on the Baron's South property. Plans for a combined facility that would accommodate the Fire, Police, and EMS Departments and the Animal Control Facility were considered and developed. Seven (7) alternative layouts were developed and are presented in Appendix C. The alternatives consider utilization of land presently owned by the Town of Westport and the possibility of acquiring land along Post Road and at the intersection of Post Road and Compo Road South.

Based on the layouts completed it appears that the Baron's South property is not readily suitable for the development of an Emergency Services Facility, Fire Facility and/or a Police and EMS facility for the following reasons:

- Site access would need to be to either from Compo Road South or Post Road. The Police, Fire, and EMS Departments are concerned with the overall traffic congestion in this area.
  - *Site Access to Compo Road:* This access would require that the vehicles turn onto Compo Road South and possibly cross at the intersection with Post Road. The Departments have indicated that they do not feel that they would be able to get onto Post Road or across Post Road in this area on a consistent basis due to heavy traffic congestion.
  - *Site Access to Post Road East:* This access would need to be provided by means of a traffic signal. The only reasonable option is to utilize the signal for the Bus Depot and relocate the Bus Depot. Due to the traffic congestion in this area of Post Road all Departments feel that there could be times that the traffic congestions would significantly hamper the vehicles getting off-site, affecting response times and therefore do not want to consider this option.
- The development of an Emergency Services facility or any part thereof is normally completed on a generally flat site or a gently graded site. The proposed site has elevation changes of 90-feet. These grade changes necessitate large excavations to make the site suitable for development. These types of grade changes are inconsistent with general development concepts that encourage working with the existing topography. In addition, the extensive grading that is needed would result in the clear cutting of mature trees, which should be limited to the extent practical.
- The development of the Emergency Services facility at the intersection of Post Road and Compo Road South would affect the abutting residential properties. The residential property owners would have a drastic change in use of the property and would need to get use to sirens and lights during emergency events, which could occur at all hours of the day.
- The existing Playhouse is located to the north of Post Road. The Playhouse is an important attraction in the Town of Westport and should be protected. The development of the Emergency Services facility at the intersection of Post Road and Compo Road South would subject the Playhouse to sirens going off during a show, thereby disrupting the events that are held at this venue.

#### **4.10. Westport Weston Family Y**

The Town of Westport has a vested interest in seeing the Westport Weston Family Y have a suitable site for development. In an effort to assist in this process, the existing configuration developed by the Y was situated on the Baron's South Property, with some layout modifications. The drawing showing this is included in Appendix D. The proposed facility includes a building footprint of approximately 63,000 square feet and parking for 218 patrons. If a parking structure were utilized an additional 200 parking spaces could be utilized. The total required parking is 300 to 400 spaces.

In reviewing the development of the building and parking on the site, the following was noted:

- Extensive grading and retaining walls would be required. The proposed development of the site would also require the clear cutting of mature trees on the site, which should be limited to the extent practical.
- No additional development could reasonably occur on the property.

- Site access would need to be to either onto Compo Road South or Post Road. The traffic congestion in this area is already very extensive. Adding additional traffic in this area could be problematic.
- The addition of the Y facility at this location would be a dramatic change to the existing neighborhood, which is comprised of primarily residential properties. A development of this scale would impact the entire neighborhood.

#### **4.11. Housing Development**

The development of residential housing on the Baron's South property includes providing Senior Housing and Mixed Income Housing. Given the site topography and the existing mature trees on the site, it was determined that installing a roadway through the site would not be prudent and therefore, potential access points were identified from Imperial Avenue, Post Road and Compo Road South.

Eight (8) alternative layouts were developed and are presented in Appendix C. The housing development scenarios include a different mix of housing densities to assist in reviewing what the appropriate level of development will be for the project. In general, the options considered the following basic components:

- Townhouse development for the mixed income component that would be built into the existing topography, stepping up or down as needed.
- A Senior Housing building that would be built into the existing grades and would take advantage of the changes in elevation. Possible options included 1 floor in the front and 3 in the back and 3 floors in the front and 1 in the back. The intent was to lay out a building that would work with the existing site topography and avoid extensive grading or clear cutting of the property.
- The layouts include a mix of 1, 2 and 3 bedroom units to meet the varied needs of the community.
- Parking requirements for the Senior Housing were increased to 1 spot per bedroom, from the 0.5 spot per bedroom required in the Westport Zoning Regulations.

In reviewing the various layouts, the following issues were noted:

- The site access to Imperial Avenue has a limited sight line to the south. It appears to be less than the 250-feet required by the Town regulations. An option considered included relocating an existing office building located on Imperial Avenue and relocating the access point further to the north, thereby extending the sight line.
- The site access to Post Road is generally not feasible as a two-way access point. CTDOT may approve a right turn only in this area. This access could also be installed as an emergency access way.
- The site access to Compo Road South appears reasonable on the northern end of the property. The grade changes on this end of the property are not as extensive and appear to be feasible.
- The issues of traffic congestion remain a concern for the development. Adding additional traffic in this area could be problematic.

## **5.0 WINSLOW PARK**

### **5.1. General Site Information**

The Winslow Park property is presently utilized by the Town residents for passive recreation. The existing property is 29.2 acres. As noted on the aerial photograph of the project site, the existing lot has large open areas and is heavily wooded in others.

### **5.2. Site Impressions**

The Winslow Park property is a beautiful property with open green space, mature trees, and rolling hills. The development of the property should protect the existing resources to the extent practical and look to work with the existing site grade changes. The property's gentle grade changes and open areas making the site more suitable for any type of development.

### **5.3. Adjacent Development**

The Winslow property is bounded by North Compo Road to the east and north, Post Road East to the south, and residential properties to the west. The existing development in each of these areas is summarized below:

Post Road East (south): The existing development in this area includes commercial properties on the north side of Post Road and the Playhouse to the south of Post Road and also east of the site.

North Compo Road (north and west): The existing development in this area residential properties.

Aerial Photographs showing the development on and adjacent to the site are included within Appendix A.

### **5.4. Westport Weston Family Y**

The Town of Westport has a vested interest is seeing the Westport Weston Family Y have a suitable site for development. In an effort to assist in this process, the existing configuration developed by the Y was situated on the Winslow Park Property, with some layout modifications. The drawing showing this is included in Appendix D. The proposed facility includes a building footprint of approximately 63,000 square feet and parking for 237 or 278 patrons. Additional parking could be added to the layout as needed. The required parking is 300 to 400 spaces.

In reviewing the development of the building and parking on the site, the following was noted:

- The Y facility easily fits on the site and would require limited grading and retaining walls. The proposed development of the site would require the cutting of some mature trees, but would be limited due to the existing open spaces on site.
- No additional development could reasonably occur on the property.
- Site access would need to be to either onto North Compo Road or Post Road with a shared driveway with the Playhouse. The traffic congestion in this area is already extensive. Adding

additional traffic in this area would increase the traffic counts thereby adding to the downtown traffic congestion.

- The addition of the Westport Weston Family Y at this location would change the entire neighborhood.



## **6.0 JESUP GREEN**

### **6.1. General Site Information**

The Jesup Green property is presently occupied by the Library, Levitt Pavilion, Police Department, and the Emergency Services Department. The existing property is 10.5 acres, with the property being utilized as follows:

- Library utilizes approximately 5.0 acres including the associated parking and driveways.
- Levitt Pavilion utilizes 1.8 acres. The parking adjacent to the Levitt Pavilion is included with the Library area as this is shared parking.
- The Police and EMS Departments utilize 3.7 acres, including the existing building and parking areas.

As noted on the aerial photographs the existing site includes large buildings and sprawling parking. An existing river walk extends from Jesup Road south to the Levitt Pavilion. The property is bounded by the Saugatuck River to the west, Dead Man's Brook to the south, and Jesup Road to the north and east.

### **6.2. Site Impressions**

The Jesup Green property is located in the midst of downtown Westport on Jesup Road. The property includes many assets:

- The property is in close proximity to the downtown shops and merchants.
- The property is located on the Saugatuck River with a partial river walk already in place.
- The property includes the Levitt Pavilion, which provides community theater to the Town. The Levitt Pavilion is an important feature for the Town and there are plans to upgrade the facility.
- The property includes a large library facility that has plans to expand in order to provide better service the community.

The Jesup Green property is one of a few properties owned by the Town of Westport that can provide opportunities for Westport residents to enjoy the Saugatuck River. These river views along with the existing community theater and library bring a sense of culture and arts to the overall property. The existing property is also abutted to the east by an existing historical building and historical district, further building on the themes of culture and history.

The development or redevelopment of the Jesup Green property needs to take advantage of the access to the river, recognize the unique property and its features, build upon the main elements the pavilion and the library bring, and make the Jesup Green property a place for residents of Westport to come and spend some time. With all this said, it is important to recognize the need for parking in the downtown area. Development of the Jesup Green property must also recognize and in some way assist if possible, the parking challenges of the downtown area. As development concepts move forward, pedestrian connections to the downtown shops can be created and streetscape schemes along Jesup Road can be

created to expand the places people walk and provide a place for people to come, read a book, attend a production, and experience being a part of the community of Westport.

### **6.3. Zoning**

The Jesup Green property is presently zoned as Residence District AA. The purpose of this AA District is to allow single-family residences on a minimum one-acre lot. The AA District provisions are intended to encourage low-density residential development for primarily residential and related purposes in areas served primarily by on-site sewage facilities. Permitted uses in this zone are same as those in the Residence AAA District

Special Permit Uses for this District include museums, libraries and other similar cultural uses, non-commercial recreational uses, government buildings facilities and uses including: recreation facilities, municipal office buildings, administrative headquarters, fire stations, police facilities, sewage and refuse disposal facilities, vehicle and material storage depots, parking lots, sanitary landfill operations and other similar buildings and uses. There are other special permit uses outlined in the regulations, but do not apply to this project and therefore have not been listed.

Special Permit Uses Subject to Special Conditions for this District include elderly housing, affordable and middle-income housing on Town-owned property, and supportive housing. There are other special permit uses outlined in the regulations, but do not apply to this project and therefore have not been listed.

### **6.4. Adjacent Development**

The Jesup Green property is bound by Jesup Road to the north and east, Dead Man's Brook to the south and the Saugatuck River to the west. The existing development in each of these areas is summarized below

Jesup Road (north and east): The existing development in this area includes commercial properties and community parking areas.

Dead Man's Brook (south): The Jesup Green property abuts Dead Man's brook to the south. South of Dead Man's Brook is a Town owned parking area that is known as the Imperial Avenue Parking Lot. The parking is used as overflow parking for the Levitt Pavilion and has a pedestrian bridge from the parking lot to the Levitt Pavilion.

Saugatuck River(west): The Jesup Green property abuts the Saugatuck River to the west. The Saugatuck River is tidally influenced in this area. A river walk runs along the west side of the property from Jesup Road to the Levitt Pavilion.

Aerial Photographs showing the existing development on and adjacent to the site are included within Appendix A.

## **6.5. Site Access and Traffic**

The existing Jesup Green property has site access along Jesup Road for its entire length. The property presently has four defined entrance points:

- Parking area to the west of the property.
- Main driveway for the Library and Police and EMS Departments.
- Secondary access to the Police and EMS Departments.
- Alternate access to the Police and EMS Departments from a driveway entrance to the far east of the site.

The traffic on Jesup Road is limited and does not create a point of congestion on a regular basis. This is primarily due to the ability to enter or exist the site at four locations and get to other parts of Town by using either Imperial Avenue or Post Road. The traffic congestion in the area is primary associated with Post Road.

## **6.6. Topography, Soils, Wetlands, and Waterbodies**

The existing site topographic plan is included within Appendix A. As shown the elevation changes on the site is from an elevation of 10 on the west side of the site to an elevation of 27 feet in the middle of the site abutting Jesup Road. The elevation changes on the site indicate that any site development that occurs will need to plan on working with the changes in the grades and avoiding large excavations as much as practical. Based on the existing information a portion of the site is comprised of landfill materials. Development in these areas needs to be carefully considered and addressed. A discussion of the landfill is included with Section 3.0 and the Environmental Map showing the landfill limits is provided in Appendix B.

The Saugatuck River and Dead Man's Brook abut the site. The FEMA Flood Zone A (100-year flood zone) is at an elevation of 10.0 in the vicinity of the site. Based on the existing topography, this only impacts a small portion on the west side of the site. No wetland areas are located on the site.

## **6.7. Available Infrastructure**

The following utilities are available on or adjacent to the site:

Water: Public water from Aquarion located on the Jesup Road, Imperial Avenue, and Post Road. Based on the level of development in the area, it appears that there would be adequate water pressure to support the required development. This should be confirmed with the water company.

Sewer: Public sewer is located on site and conveys the sewer from the site to an existing public sewer on Imperial Avenue. The existing sewer is 8-inch in diameter and is limited in capacity. Evaluation of this sewer should be completed to verify the downstream sewer has capacity to handle any proposed wastewater flows.

Drainage: The existing site drains in all directions. Based on the existing topography it would be the intent to drain most of the project development toward Dead Man's Brook. Based on the existing soil conditions, infiltration of stormwater may not be possible. Attenuation of the stormwater would likely be required to limit the peak flow that would be discharged from the site. Stormwater treatment would also be needed to meet the CTDEP Stormwater Quality Guidelines.

The availability of electric and gas was not confirmed as part of the development of the Master Plan.

## **6.8. Development Concepts Evaluated**

The Jesup Green property includes 10.5 acres of land. As part of the overall development evaluation the following alternatives were considered:

- Westport Weston Family Y.
- Community Center.
- Riverfront Park and River Walk.
- Work Force Housing on the Imperial Avenue Parking Area.
- Mixed Use Development.

The alternatives developed include all or some of the components considered. A summary of each of the alternatives reviewed is presented in Sections 6.9, 6.10, 6.11, 6.12, and 6.13.

## **6.9. Westport Weston Family Y**

The Town of Westport has a vested interest in seeing the Westport Weston Family Y have a suitable site for development. In an effort to assist in this process, the existing configuration developed by the Y was situated on the Jesup Green Property, with some layout modifications. The drawing showing this is included in Appendix D. The proposed facility included a building footprint of approximately 63,000 square feet. Given the site limitations proposed parking could not be located on the site. The parking would need to be located beneath the proposed building, creating a 3 to 4 story building. The required parking is 300 to 400 spaces.

The placement of the Westport Weston Family Y on the Jesup Green property would not be feasible with the present building and parking requirements outlined by the Y. The building configuration would need to be substantially altered, with a reduction in size and parking requirements.

## **6.10. Community Center**

The Town of Westport understands the value of maintaining community space downtown and reviewed the possibility of locating a Community Center building on the site. Possible uses for these type of buildings could be a teen center, other community uses, and / or Town sponsored shops.

Possible options for community centers were considered and are shown on Conceptual Layouts C, D, E, F and G in Appendix E. In general it appears that a Community Center of 10,000 to 15,000 square feet could be reasonably located on site if the existing police station is not relocated and 30,000 to 40,000 square feet if the police station were to be relocated. The actual square footage that can be achieved is driven by the number of floors that are proposed. At this point, structures were limited to two floors.

The layouts developed addressed parking requirements through the use of structured parking. The existing site includes sprawled parking. Any new development needs to create more open space and if possible more parking at the same time. A parking garage is likely the only way to achieve additional parking while creating more open space on the property.

#### **6.11. Riverfront Park and River Walk**

The Jesup Green property needs to be redeveloped to create a connection to the downtown shops and the river. Development concepts should include the following elements:

- Removal of western-most parking area on the site and conversion of this area to a Riverfront Park. The park could include art, sculptures, sitting areas, and pathways. A simple rendering of a possible park is presented in Appendix F.
- Extension of the River Walk from its end at the Levitt Pavilion around the project site to connect to sidewalks on Jesup Road and Imperial Avenue. A simple rendering of a possible river walk is presented in Appendix F.
- Riverfront enhancement to eliminate the invasive species and recapture the views to the river.
- Replacement of the existing pedestrian bridge over Dead Man's Brook or enhancements to make the bridge more aesthetically pleasing, and to encourage parking in the Imperial Avenue Parking Lot.

These elements should be addressed in all the development scenarios considered.

#### **6.12. Work Force Housing on the Imperial Avenue Parking Area**

The development of work force housing on the Imperial Avenue Parking Area would include elimination of the parking area and construction of a 3-story building with parking located below the building. A conceptual layout of this alternative is included within Appendix E, as Conceptual Layout H.

Although this option can provide 60 potential housing units, the development of the site has the following issues:

- The existing site is located on the existing landfill. Development of this area will need to carefully consider the impact to the landfill and the contents of the landfill.
- The driveway intersection with Imperial Avenue would be below the 100-year Flood Elevation (FEMA Flood Zone A). This is due to the present elevation of Imperial Avenue. This would

mean that the housing development would have no access by vehicle during a 100-year storm event.

Given the above issues, the Town of Westport has chosen not to pursue the development of the housing on this area at this time. Therefore, the housing is not included in any of the mixed-use development scenarios summarized in Section 6.13.

The Imperial Avenue Parking Lot Area could be used for a community center type building. However, a vehicular bridge would need to be installed to the library parking lot to allow for emergency access during flooding events. This bridge could be designed as a large pedestrian bridge with appropriate widths to allow for emergency vehicles. Further investigation of this is warranted if the Town chooses to pursue this type of development.

### **6.13. Mixed Use Development**

The overall development of Jesup Green results in a mix of development and redevelopment concepts. Eight (8) conceptual layouts were developed for Jesup Green to evaluate the feasibility of a mixed-use type development on the property. The following concepts were considered:

- Replacement of the existing pedestrian bridge with a vehicular bridge.
- Removal of the existing parking area at the northwest corner of the site.
- Creating a streetscape along Jesup Road to help define the roadway, enhance the views along the roadway, and provide a better place for pedestrians to walk and enjoy the downtown area.
- Creation of a River Front Park, River Walk, and Riverfront Enhancement as outlined in Section 6.11 of this report.
- Creation of defined pedestrian connections from Jesup Green to the downtown shops on Post Road. The intent is to create better access to the downtown, river and Jesup Green.
- Addition of structured parking to assist in the replacement of the parking spaces lost by the removal of the parking area in the northwest corner of the site as well as providing parking for the development.
- Relocation of the Police and EMS Departments, demolition of the building and redevelopment with compelling uses such as shops, restaurants, small theater, community center, and other similar types of development.
- Upgrade of the Police and EMS Departments and redevelop site with a community building containing one or more of the following uses: shops, restaurants, small theater, community center and other similar types of development.

## **7.0 RECOMMENDATIONS**

### **7.1. Baron's South**

In evaluating the Baron's South property it has become apparent that development for mixed income housing and senior housing is the best use of the property. The site's variable topography lends itself to develop into the slopes thereby limiting the overall impact to the property and this use is consistent with the adjoining residential neighborhoods and Senior Center.

Conceptual Layout H represents a reasonable development for the overall site. The layout presented is conceptual in nature and the final layout of the roadways and number of units may change. However, it appears that the site can feasibly support 90 units of Senior Housing and 33 units of Mixed Income Housing.

The following items need to be addressed to allow the project to move forward for development:

- The method of development and funding sources need to be identified. The funding source and method of development may impact the mix of housing required.
- The present layout and building selection may not be compatible with the Residence District AA requirements. The Senior Housing buildings and the Mixed Income Housing need to be reviewed along with the zoning regulations to determine what method would be most appropriate to obtain site plan approval.
- Preliminary designs of the housing needs to be completed to refine the conceptual layouts presented and make a final determination on the type of buildings, number of units, layout of roadways and parking areas.
- Traffic analysis needs to be completed to verify that the proposed driveway entrances and roadways will be acceptable and roadway improvements, if any, identified.
- Evaluation of the downstream sewer is needed to verify capacity. The Town has indicated that the wastewater generated from the development should not impact the downstream sewer and pump station, but want to verify this conclusion.
- Verification of available service for electric, water and gas (if required) should be completed and obtained in writing.
- Determination on the ramifications of the remaining environmental issues identified in the report and how they will effect the development. This process would be identified as the preliminary design is complete.

## **7.2. Winslow Park**

The Town has indicated that the development of Winslow Park is not part of the overall plan of the Town at this time. The Town wants to maintain Winslow Park for future use for a municipal purpose, not identified at this time.

Winslow Park presently functions as a passive park area. The Town should consider some recreation enhancements to make the park more functional and usable for the park patrons.

## **7.3. Jesup Green**

The development of Jesup Green is critical to the overall development of downtown Westport. The Jesup Green property should be developed as a cultural arts area incorporating the work being completed at the Westport Library and the Levitt Pavilion to revitalize the downtown area. The existing Police and EMS building should be relocated and the overall site enhanced with a river walkway and park. Based on the layouts developed and the evaluation completed, Conceptual Layout F or a similar concept is considered to be the preferred direction. This layout includes the following components:

- Relocate Police and EMS.
- Create Mixed Use Development.
- Create Streetscape along Jesup Road.
- Create Pedestrian Connections to Downtown Shops.
- Create Riverfront Park and River Walk.
- Complete Riverfront Enhancement.
- Consider Imperial Avenue Lot for Housing or Community Center.

At this stage a new location for a new Police Department and Emergency Services Department has not been located.

The following steps need to be taken to allow the overall development to continue to move forward:

- Verify improvements to the Westport Library and Levitt Pavilion and work within the framework of the proposed development plan.
- Identify area to relocate the Police and EMS Departments. As part of this process sites need to be located for an expanded Fire Department and the Animal Control Facility. A site location for a combined facility should also be identified and evaluated.
- The method of development and funding sources need to be identified. The funding source and method of development may impact the development mix considered.
- The present layout and building selection may not be compatible with the Residence District AA requirements. Once a final determination on site use is determined, the regulations need to be reviewed to determine what method would be most appropriate to obtain site plan approval.



- Preliminary designs of conceptual layouts need to be completed.
- Traffic analysis needs to be completed to verify that the proposed driveway entrances and roadways will be acceptable without major improvements.
- Evaluation of the downstream sewer is needed to verify capacity. The Town has indicated that the wastewater generated from the development should not impact the downstream sewer and pump stations, but want to verify this conclusion.
- Verification of available service for electric, water and gas (if required) should be completed and obtained in writing.
- Determination on the ramifications of the remaining environmental issues identified in the report and how they will effect the development needs to be determined. This process would be identified, as the preliminary design is complete.

Appendix A  
Aerial Map, Existing Conditions Plan and Zoning Map



NOTES:

JESUP PROPERTY : 10.5± AC

BARON'S SOUTH PROPERTY :  
22.7± AC

WINSLOW PARK PROPERTY :  
29.2± AC

**AERIAL MAP**  
**MASTER PLAN FOR JESUP AND BARON'S SOUTH**  
**TOWN OF WESTPORT, CONNECTICUT**  
SCALE: 1"=150'

**Weston & Sampson.**

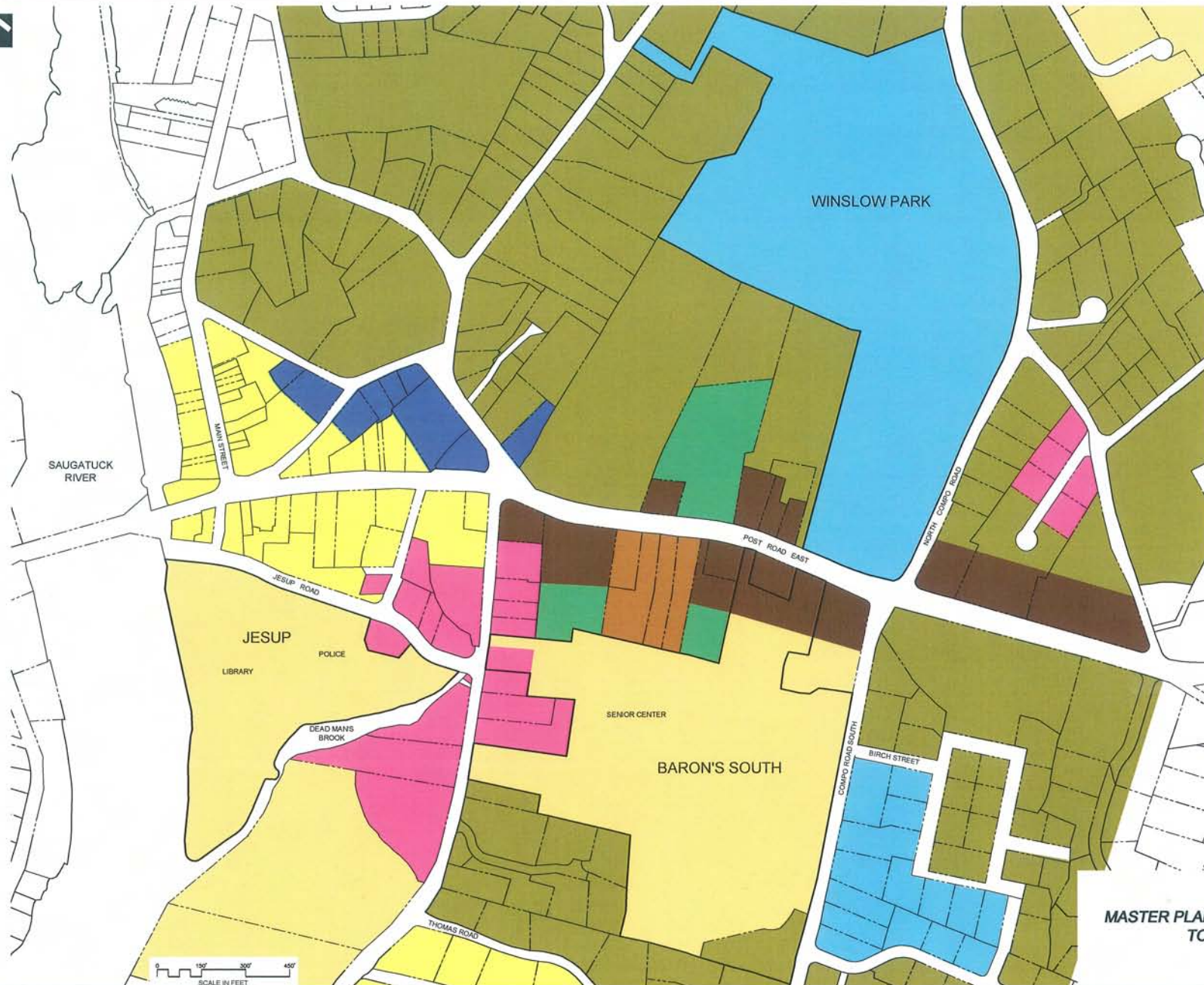




**EXISTING CONDITIONS**  
**MASTER PLAN FOR JESUP AND BARON'S SOUTH**  
**TOWN OF WESTPORT, CONNECTICUT**  
SCALE: 1"=150'

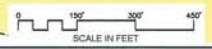
**Weston&Sampson.**





**LEGEND**

- ZONE A
- ZONE AA
- ZONE BCD
- ZONE BPD
- ZONE GBD
- ZONE RBD
- ZONE RORD
- ZONE RPOD
- ZONE OTHER



**ZONING MAP**  
**MASTER PLAN FOR JESUP AND BARON'S SOUTH**  
**TOWN OF WESTPORT, CONNECTICUT**  
SCALE: 1"=150'  
**Weston & Sampson, Inc.**

## Appendix B

### Environmental Map





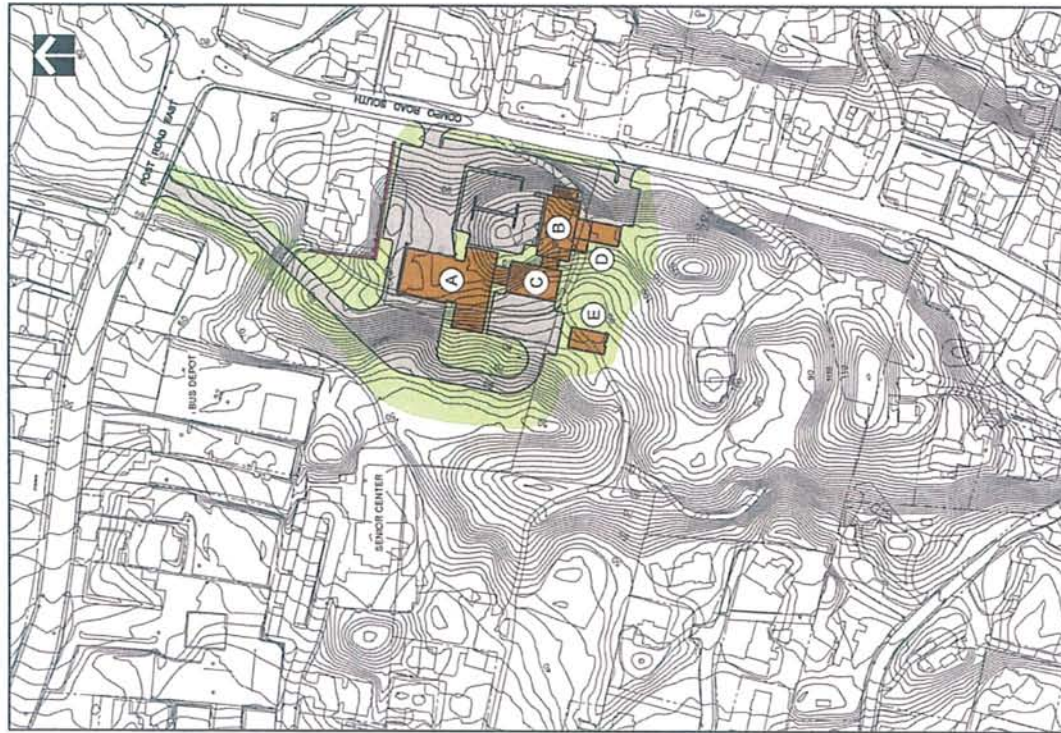
1	#322 WESTPORT SUNOCO U.S.T. & WHEN INSTALLED: (2) 6,000 GAL. GASOLINE 1970 6,000 GAL. GASOLINE 1975 550 GAL. HOME HEATING OIL 1970 550 GAL. WASTE OIL 1970
2	#502 WESTPORT CENTER MOBIL U.S.T. & INSTALLED: (3 TOTAL) 4,000 GAL. GASOLINE 11/1989 10,000 GAL. GASOLINE 3/2000 THIRD TANK UNLISTED DETAILS U.S.T. REMOVED: 10/000 4/2002
3	#004 DATTCOMASSIELLO BUS CO TANKS RESEAL IN 2005 QUANTITY AND TYPES UNKNOWN
4	FORMER LABORATORY LOCATION
5	U.S.T. INSTALLED: 5,000 GAL. FUEL OIL 11/2002
6	#200 A.V.I. PUBLISHING CO. HAZARDOUS WASTE HANDLER
7	#240 U.S.T. INSTALLED: 5,000 GAL. FUEL OIL 11/2002
8	#204 STATE CLEANERS HAZARDOUS WASTE HANDLER
9	#045 CONGREGATIONAL CHURCH U.S.T. INSTALLED: 2,000 GAL. FUEL OIL 7/1988
10	#271 WESTPORT GETTY U.S.T. & INSTALLED: (2) 10,000 10/1992 U.S.T. & REMOVED: 6,000 GAL. 11/1989 (4) 4,000 GAL. TANKS 9/1992
11	#287 FORMERLY GREAT AMERICAN CLEANERS HAZARDOUS WASTE HANDLER
12	#353 WESTPORT COLONIAL CLEANERS HAZARDOUS WASTE HANDLER
13	U.S.T. REMOVED: 1,000 GAL. FUEL OIL 7/2000
14	U.S.T. REMOVED: 12/003
15	SPILL: 11/1992 200 GAL. FUEL OIL
16	U.S.T. & INSTALLED: 2,000 GAL. FUEL OIL 1987 5,000 GAL. GASOLINE 1987 U.S.T. REMOVED: 2,000 GAL. 12/005
17	U.S.T. REMOVED: 12/0002
18	LANDFILL LIMITS

**ENVIRONMENTAL MAP**  
**MASTER PLAN FOR JESUP AND BARON'S SOUTH**  
**TOWN OF WESTPORT, CONNECTICUT**  
**SCALE: 1"=150'**

**Weston & Sampson.**

Appendix C  
Conceptual Layouts for Baron's South





SCALE IN FEET



SCALE IN FEET

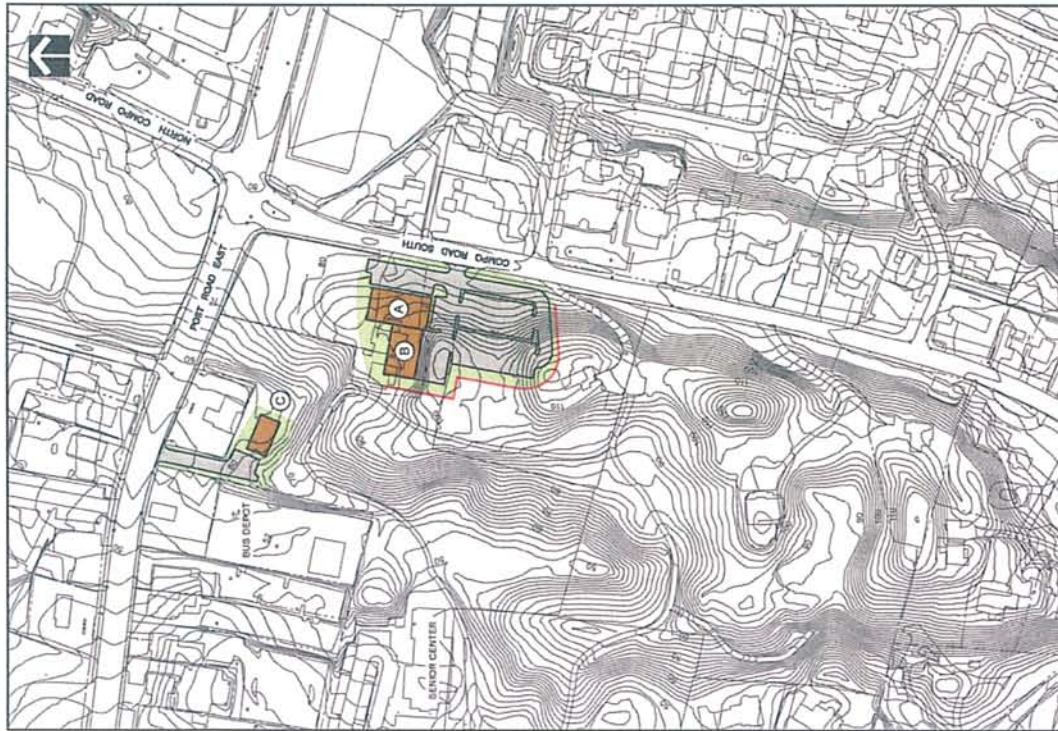
- LEGEND**
- BUILDING
  - DRIVEWAY/PARKING
  - GRADING AREA
  - RETAINING WALL
- FACILITIES INCLUDED**
- A - FIRE DEPARTMENT
  - B - POLICE DEPARTMENT
  - C - EMERGENCY MEDICAL SERVICES
  - D - MAINTENANCE/GARAGE
  - E - ANIMAL SHELTER
- COMPONENTS NOT INCLUDED**
- FIRING RANGE
  - FUEL DISPENSARY
  - PARKING - 93 SPACES
- NOTES:**
1. SETBACKS FRONT/SIDE/REAR 30/25/25'
  2. PROPOSED BUILDING COVERAGE : 37,620 SF
  3. PROPOSED DRIVEWAY/PARKING COVERAGE : 116,900 SF
  4. PROPOSED DEVELOPED AREA : 277,500 SF (6.44 AC)
- PARKING - 112 SPACES**

**CONCEPTUAL LAYOUT A  
EMERGENCY FACILITIES**

MASTER PLAN FOR JESUP AND BARON'S SOUTH  
TOWN OF WESTPORT, CONNECTICUT  
SCALE: 1"=100'

*Weston&Simpson*





- LEGEND**
- BUILDING
  - DRIVEWAY/PARKING
  - GRADING AREA
  - RETAINING WALL
- FACILITIES**
- A - POLICE DEPARTMENT
  - B - EMERGENCY MEDICAL SERVICES
  - C - ANIMAL SHELTER
  - PARKING - 78 SPACES
- COMPONENTS NOT INCLUDED**
- FIRING RANGE
  - FUEL DISPENSARY
  - MAINTENANCE GARAGE
  - PARKING - 78 SPACES
- NOTES:**
1. SETBACKS FRONT/SIDE/REAR 30/25/25'
  2. PROPOSED BUILDING COVERAGE : 14,400 SF
  3. PROPOSED DRIVEWAY/PARKING COVERAGE : 48,400 SF
  4. PROPOSED DEVELOPED AREA : 93,500SF (2.1± AC)



**CONCEPTUAL LAYOUT B**  
**EMERGENCY FACILITIES**  
 MASTER PLAN FOR JESUP AND BARON'S SOUTH  
 TOWN OF WESTPORT, CONNECTICUT  
 SCALE: 1"=100'  
*Weston&Sampson*



# LEGEND

- BUILDING
- DRIVEWAY/PARKING
- GRADING AREA
- RETAINING WALL

## FACILITIES

- A - POLICE DEPARTMENT
- B - EMERGENCY MEDICAL SERVICES
- C - ANIMAL SHELTER

PARKING - 90 SPACES

## COMPONENTS NOT INCLUDED

- FIRING RANGE (110' X 50')
- FUEL DISPENSARY
- MAINTENANCE GARAGE
- PARKING - 65 SPACES

## NOTES:

1. SETBACKS FRONT/SIDE/REAR 30/25/25'
2. PROPOSED BUILDING COVERAGE : 35,750 SF
3. PROPOSED DRIVEWAY/PARKING COVERAGE : 96,750 SF
4. PROPOSED DEVELOPED AREA - 238,000 SF (5.5± AC)



CONCEPTUAL LAYOUT C  
EMERGENCY FACILITIES  
MASTER PLAN FOR JESUP AND BARON'S SOUTH  
TOWN OF WESTPORT, CONNECTICUT  
SCALE: 1"=100'  
Weston&Sampson.



# LEGEND



## FACILITIES

- A - POLICE DEPARTMENT
- B - EMERGENCY MEDICAL SERVICES
- C - ANIMAL SHELTER

PARKING - 124 SPACES

## COMPONENTS NOT INCLUDED

- FIRING RANGE (110' X 50')
- FUEL DISPENSARY
- MAINTENANCE GARAGE
- PARKING - 31 SPACES



CONCEPTUAL LAYOUT D  
EMERGENCY FACILITIES  
MASTER PLAN FOR JESUP AND BARON'S SOUTH  
TOWN OF WESTPORT, CONNECTICUT  
SCALE: 1"=100'  
Weston&Sampson



# LEGEND

- BUILDING
- DRIVEWAY/PARKING
- GRADING AREA
- RETAINING WALL

## FACILITIES

- A - POLICE DEPARTMENT
- B - EMERGENCY MEDICAL SERVICES
- C - ANIMAL SHELTER
- PARKING - 71 SPACES

## COMPONENTS NOT INCLUDED

- FIRING RANGE (110' X 50')
- FUEL DISPENSARY
- MAINTENANCE GARAGE
- PARKING - 84 SPACES



SCALE IN FEET

SCALE IN FEET

CONCEPTUAL LAYOUT E  
EMERGENCY FACILITIES  
MASTER PLAN FOR JESUP AND BARON'S SOUTH  
TOWN OF WESTPORT, CONNECTICUT  
SCALE: 1"=100'  
Weston&Sampson





SCALE IN FEET  
0 10 20 30



SCALE IN FEET  
0 10 20 30

- LEGEND**
- FIRE
  - DRIVEWAY/PARKING
  - GRADING AREA
  - RETAINING WALL
- FACILITIES**
- A - FIRE DEPARTMENT
  - B - POLICE DEPARTMENT
  - C - EMERGENCY MEDICAL SERVICES
  - D - MAINTENANCE/GARAGE
  - E - ANIMAL SHELTER
- PARKING - 150 SPACES**
- COMPONENTS NOT INCLUDED**
- FIRING RANGE
  - FUEL DISPENSARY
  - PARKING - 55 SPACES
- NOTES:**
1. SETBACKS FRONT/SIDE/REAR : 30'/25'/25'
  2. PROPOSED BUILDING COVERAGE : 35,750 SF
  3. PROPOSED DRIVEWAY/PARKING COVERAGE : 96,750 SF
  4. PROPOSED DEVELOPED AREA : 238,000 SF (5.5+ AC)

**CONCEPTUAL LAYOUT F  
EMERGENCY FACILITIES**

MASTER PLAN FOR JESUP AND BARON'S SOUTH  
TOWN OF WESTPORT, CONNECTICUT

SCALE: 1"=100'

*Weston&Sampson*





SCALE IN FEET  
0 10 20 30

# LEGEND

- MUNICIPAL BUILDING
- DRIVEWAY/PARKING
- GRADING AREA

- 1 - POLICE DEPARTMENT
- 2 - EMERGENCY MEDICAL SERVICES
- 3 - MAINTENANCE GARAGES
- 4 - FIRING RANGE
- A
- B
- 250 TOTAL PARKING SPACES
- TWO LEVEL PARKING GARAGE (205 SPACES)

## NOTES:

1. SETBACKS FRONT/SIDE/REAR : 30/25/25'
2. PROPOSED BUILDING COVERAGE : 60,500 SF
3. PROPOSED DRIVEWAY/PARKING COVERAGE : 31,250 SF
4. PROPOSED DEVELOPED AREA : 117,250 SF (2.7± AC)

AERIAL MAP  
EMERGENCY FACILITIES G  
MASTER PLAN FOR JESUP AND BARON'S SOUTH  
TOWN OF WESTPORT, CONNECTICUT  
SCALE: 1"=80'  
Weston&Simpson





# LEGEND

- BUILDING
- DRIVEWAY/PARKING
- ALTERNATE DRIVEWAY
- GRADING AREA

3 STORY SENIOR HOUSING

A (34) 1 BR UNITS  
(6) 2 BR UNITS

B BARON'S HOUSE RENOVATION

(6) 1 OR 2 BR UNITS

C TOWNHOUSE CLUSTER - 27 UNITS

(16) 2 BR UNITS  
(11) 3 BR UNITS

D TOWNHOUSE CLUSTER - 13 UNITS

(8) 2 BR UNITS  
(5) 3 BR UNITS

## NOTES:

1. SETBACKS FRONT/SIDE/REAR 30'/25'/25'
2. PROPOSED BUILDING COVERAGE 49,700 SF
3. PROPOSED DRIVEWAY/PARKING COVERAGE 100,750 SF
4. PROPOSED DEVELOPED AREA 371,300 SF (8.5± AC)

AERIAL MAP  
CONCEPTUAL RESIDENTIAL LAYOUT A  
MASTER PLAN FOR JESUP AND BARON'S SOUTH  
TOWN OF WESTPORT, CONNECTICUT  
SCALE: 1"=80'  
Weston&Campion



# LEGEND

- BUILDING
- DRIVEWAY/PARKING
- ALTERNATE DRIVEWAY
- GRADING AREA

- A BARON'S HOUSE RENOVATION  
(6) 1 OR 2 BR UNITS
- B TOWNHOUSE CLUSTER - 53 UNITS  
(32) 2 BR UNITS  
(21) 3BR UNITS
- C TOWNHOUSE CLUSTER - 13 UNITS  
(8) 2 BR UNITS  
(5) 3BR UNITS

## NOTES:

1. SETBACKS FRONT/SIDE/REAR : 30/25/25'
2. PROPOSED BUILDING COVERAGE : 65,500 SF
3. PROPOSED DRIVEWAY/PARKING COVERAGE : 100,400 SF
4. PROPOSED DEVELOPED AREA : 388,500 SF (8.9± AC)



AERIAL MAP  
CONCEPTUAL RESIDENTIAL LAYOUT B  
MASTER PLAN FOR JESUP AND BARON'S SOUTH  
TOWN OF WESTPORT, CONNECTICUT  
SCALE: 1"=60'

Weston&Sampson



# LEGEND



- A BARON'S HOUSE RENOVATION  
(6) 1 OR 2 BR UNITS
- B TOWNHOUSE CLUSTER - 53 UNITS  
(32) 2 BR UNITS  
(21) 3BR UNITS
- C 3 STORY SENIOR HOUSING  
(42) 1 BR UNITS  
(8) 2 BR UNITS

## NOTES:

1. SETBACKS FRONT/SIDE/REAR : 30/25/25'
2. PROPOSED BUILDING COVERAGE : 64,000 SF
3. PROPOSED DRIVEWAY/PARKING COVERAGE : 113,600 SF
4. PROPOSED DEVELOPED AREA : 420,200 SF (9.62 AC)



AERIAL MAP  
CONCEPTUAL RESIDENTIAL LAYOUT C  
MASTER PLAN FOR JESUP AND BARON'S SOUTH  
TOWN OF WESTPORT, CONNECTICUT  
SCALE: 1"=80'  
Weston&Sampson.





AERIAL MAP  
 CONCEPTUAL COMBINED LAYOUT D  
 MASTER PLAN FOR JESUP AND BARON'S SOUTH  
 TOWN OF WESTPORT, CONNECTICUT  
 SCALE: 1"=60'  
 Weston & Sampson





# LEGEND

- MUNICIPAL BUILDING
- RESIDENTIAL BUILDING
- SENIOR HOUSING
- DRIVEWAY/PARKING
- GRADING AREA

- A BARON'S HOUSE RENOVATION  
(6) 1 BR UNITS  
11 PARKING SPACES
- B TOWNHOUSE CLUSTER - 27 UNITS  
(16) 2 BR UNITS  
(11) 3BR UNITS  
101 PARKING SPACES
- C 3 STORY SENIOR HOUSING  
(42) 1 BR UNITS  
(8) 2 BR UNITS  
58 PARKING SPACES
- D 3 STORY SENIOR HOUSING  
(34) 1 BR UNITS  
(6) 2 BR UNITS  
46 PARKING SPACES
- E RELOCATED BUILDING

## NOTES:

1. SETBACKS FRONTSIDE/REAR 30/25/25'
2. PROPOSED BUILDING COVERAGE : 49,850 SF
3. PROPOSED DRIVEWAY/PARKING COVERAGE : 123,000 SF
4. PROPOSED DEVELOPED AREA : 403,300 SF (9.3± AC)

AERIAL MAP  
CONCEPTUAL COMBINED LAYOUT E  
MASTER PLAN FOR JESUP AND BARON'S SOUTH  
TOWN OF WESTPORT, CONNECTICUT  
SCALE: 1"=80'  
Weston&Simpson.





# LEGEND



- A BARON'S HOUSE RENOVATION  
(6) 1 BR UNITS  
11 PARKING SPACES
- B TOWNHOUSE CLUSTER - 27 UNITS  
(16) 2 BR UNITS  
(11) 3BR UNITS  
101 PARKING SPACES
- C 3 STORY SENIOR HOUSING  
(42) 1 BR UNITS  
(8) 2 BR UNITS  
58 PARKING SPACES
- D 3 STORY SENIOR HOUSING  
(34) 1 BR UNITS  
(6) 2 BR UNITS  
46 PARKING SPACES
- E 1 - POLICE DEPARTMENT  
2 - EMERGENCY MEDICAL SERVICES  
3 - MAINTENANCE GARAGES  
4 - FIRING RANGE
- F 250 TOTAL PARKING SPACES  
TWO LEVEL PARKING GARAGE (205 SPACES)
- G RELOCATED BUILDING

AERIAL MAP  
CONCEPTUAL COMBINED LAYOUT F  
MASTER PLAN FOR JESUP AND BARON'S SOUTH  
TOWN OF WESTPORT, CONNECTICUT  
SCALE: 1"=80'  
Weston&Simpson.





# LEGEND

- MUNICIPAL BUILDING
- RESIDENTIAL BUILDING
- SENIOR HOUSING
- DRIVEWAY/PARKING
- GRADING AREA

- A BARON'S HOUSE RENOVATION  
(6) 1 BR UNITS  
11 PARKING SPACES
- B TOWNHOUSE CLUSTER - 27 UNITS  
(16) 2 BR UNITS  
(11) 3BR UNITS  
101 PARKING SPACES
- C 3 STORY SENIOR HOUSING  
(42) 1 BR UNITS  
(8) 2 BR UNITS  
58 PARKING SPACES
- D 3 STORY SENIOR HOUSING  
(34) 1 BR UNITS  
(6) 2 BR UNITS  
46 PARKING SPACES
- E 1 - POLICE DEPARTMENT  
2 - EMERGENCY MEDICAL SERVICES  
3 - MAINTENANCE GARAGES  
4 - FIRING RANGE
- F 250 TOTAL PARKING SPACES  
TWO LEVEL PARKING GARAGE (205 SPACES)
- G RELOCATED BUILDING
- H ANIMAL SHELTER  
17 PARKING SPACES

AERIAL MAP  
CONCEPTUAL COMBINED LAYOUT G  
MASTER PLAN FOR JESUP AND BARON'S SOUTH  
TOWN OF WESTPORT, CONNECTICUT  
SCALE: 1"=80'  
Weston&Sampson.





**LEGEND**

- MUNICIPAL BUILDING
- RESIDENTIAL BUILDING
- SENIOR HOUSING
- DRIVEWAY/PARKING
- GRADING AREA

- A** BARON'S HOUSE RENOVATION  
(6) 1 BR UNITS  
11 PARKING SPACES
- B** TOWNHOUSE CLUSTER - 27 UNITS  
(16) 2 BR UNITS  
(11) 3BR UNITS  
101 PARKING SPACES
- C** 3 STORY SENIOR HOUSING  
(42) 1 BR UNITS  
(8) 2 BR UNITS  
58 PARKING SPACES
- D** 3 STORY SENIOR HOUSING  
(34) 1 BR UNITS  
(6) 2 BR UNITS  
46 PARKING SPACES
- E** RELOCATED BUILDING

**NOTES**

1. SETBACKS FRONTSIDE/REAR 30'/25'/25'
2. PROPOSED BUILDING COVERAGE : 49,850 SF
3. PROPOSED DRIVEWAY/PARKING COVERAGE : 128,2500 SF
4. PROPOSED DEVELOPED AREA : 421,000 SF (9.6± AC)

**AERIAL MAP**  
**CONCEPTUAL COMBINED LAYOUT H**  
**MASTER PLAN FOR JESUP AND BARON'S SOUTH**  
**TOWN OF WESTPORT, CONNECTICUT**  
 SCALE: 1"=80'  
*Weston&Simpson.*

## Appendix D

### Conceptual Layouts for Westport Weston Family Y





0 100' 200' 300'  
SCALE IN FEET



0 100' 200' 300'  
SCALE IN FEET

#### LEGEND

BUILDING	<span style="display:inline-block; width:15px; height:15px; background-color:orange;"></span>
DRIVEWAY/PARKING	<span style="display:inline-block; width:15px; height:15px; background-color:grey;"></span>
GRADING AREA	<span style="display:inline-block; width:15px; height:15px; background-color:lightgreen;"></span>
RETAINING WALL	<span style="display:inline-block; width:15px; height:15px; background-color:red;"></span>

#### FACILITIES

WESTPORT WESTON FAMILY Y

PARKING - 218 SPACES

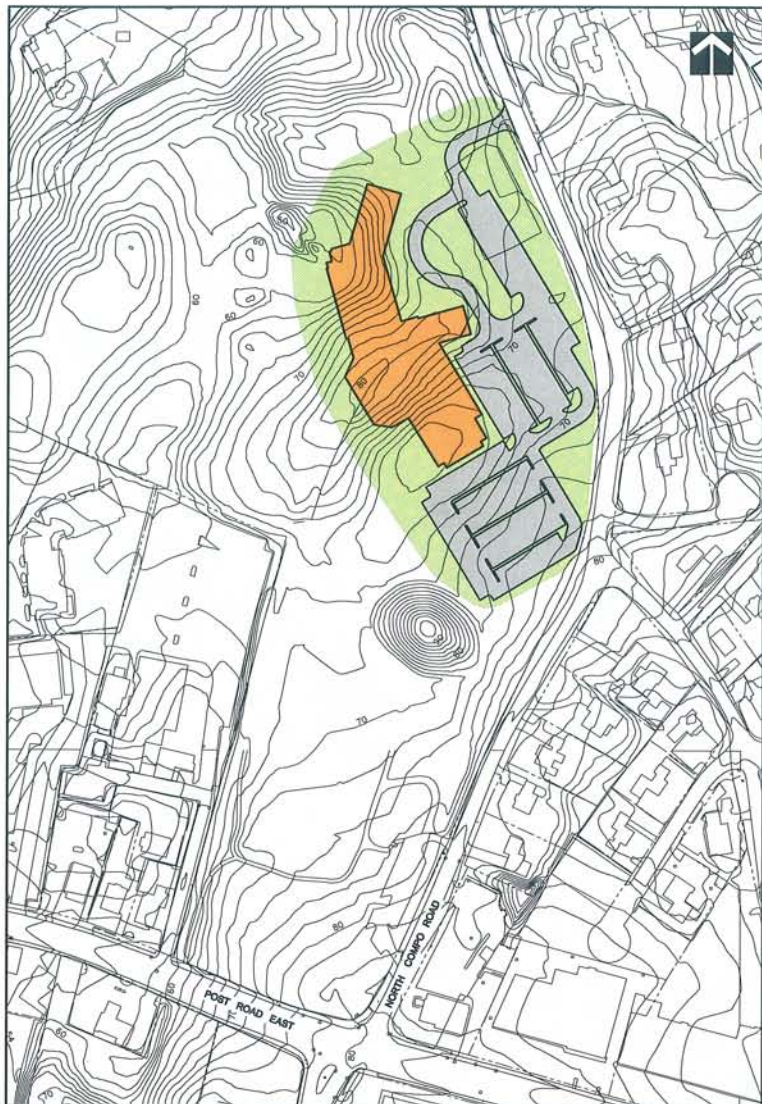
#### NOTES:

1. SETBACKS FRONT/SIDE/REAR 30'/25'/25'
2. PROPOSED BUILDING COVERAGE : 62,250 SF
3. PROPOSED DRIVEWAY/PARKING COVERAGE : 104,800 SF
4. PROPOSED DEVELOPED AREA : 283,000 SF (6.5± AC)

**CONCEPTUAL LAYOUT A**  
**WESTPORT WESTON FAMILY Y - BARON'S SOUTH**  
**MASTER PLAN FOR JESUP AND BARON'S SOUTH**  
**TOWN OF WESTPORT, CONNECTICUT**  
SCALE: 1"=100'

**Weston & Sampson.**






0 100' 200' 300'  
SCALE IN FEET



0 100' 200' 300'  
SCALE IN FEET

#### LEGEND

BUILDING	
DRIVEWAY/PARKING	
GRADING AREA	

#### FACILITIES

WESTPORT WESTON FAMILY Y

PARKING - 237 SPACES

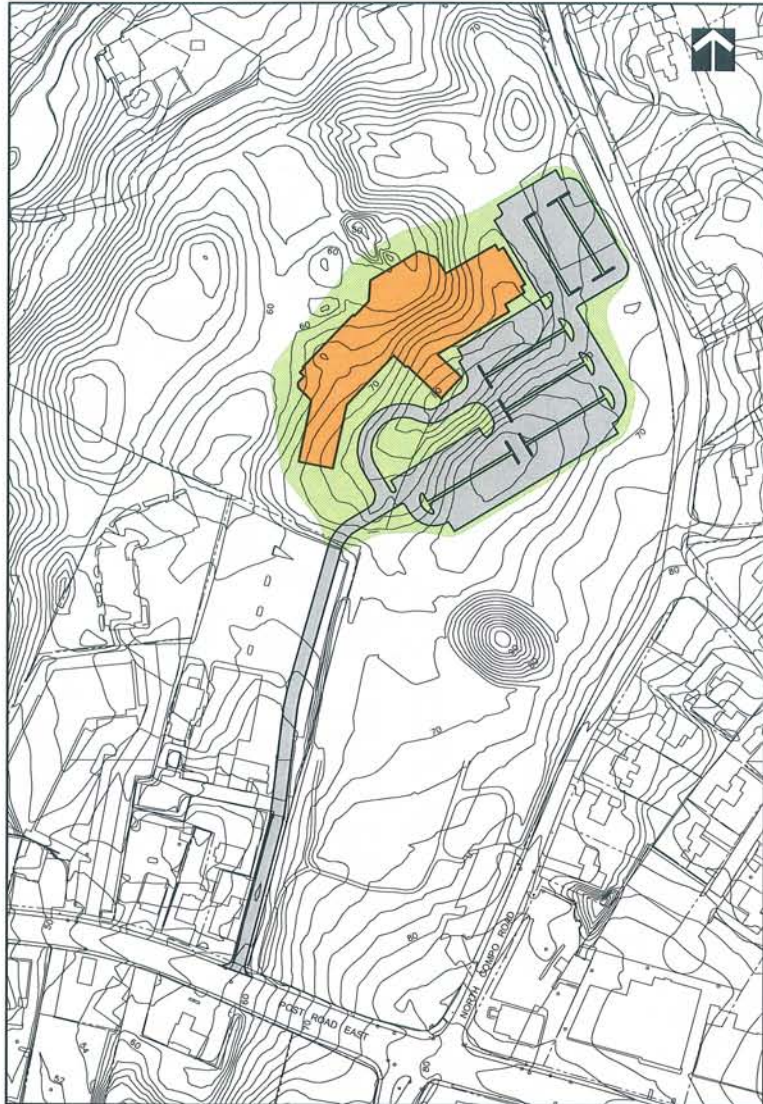
#### NOTES:

1. PROPOSED BUILDING COVERAGE : 62,250 SF
2. PROPOSED DRIVEWAY/PARKING COVERAGE : 131,400 SF
3. PROPOSED DEVELOPED AREA : 328,000 SF (7.5± AC)

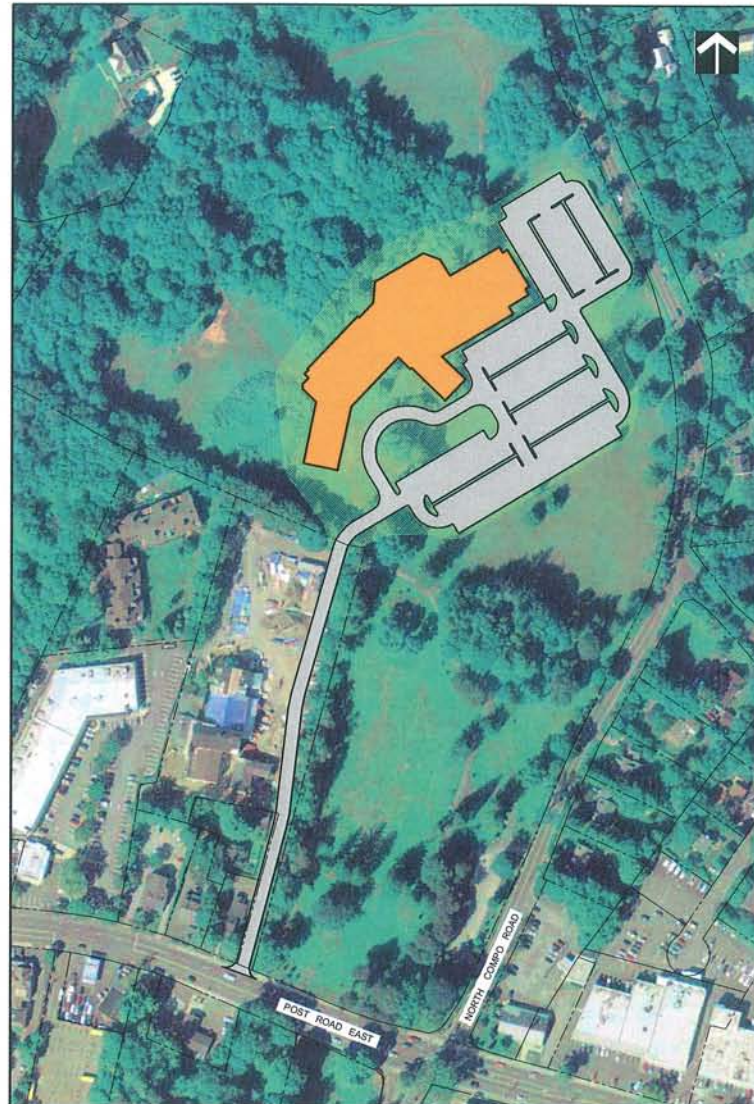
**CONCEPTUAL LAYOUT B**  
**WESTPORT WESTON FAMILY Y - WINSLOW PARK**  
MASTER PLAN FOR JESUP AND BARON'S SOUTH  
TOWN OF WESTPORT, CONNECTICUT  
SCALE: 1"=100'

**Weston & Sampson.**





0 100' 200' 300'  
SCALE IN FEET



0 100' 200' 300'  
SCALE IN FEET

#### LEGEND

BUILDING	
DRIVEWAY/PARKING	
GRADING AREA	

#### FACILITIES

WESTPORT WESTON FAMILY Y

PARKING - 271 SPACES

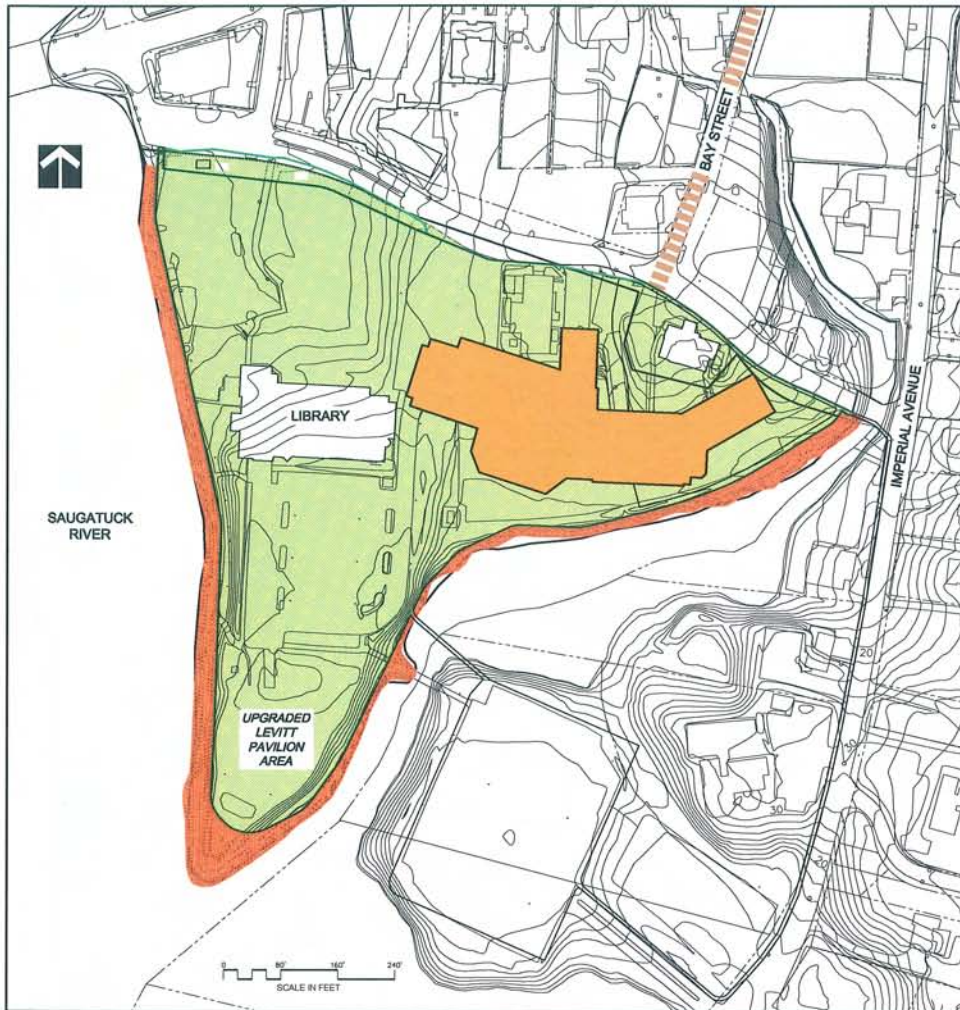
#### NOTES:

1. PROPOSED BUILDING COVERAGE : 62,250 SF
2. PROPOSED DRIVEWAY/PARKING COVERAGE : 162,500 SF
3. PROPOSED DEVELOPED AREA : 292,000 SF (6.7± AC)

**CONCEPTUAL LAYOUT C**  
**WESTPORT WESTON FAMILY Y - WINSLOW PARK**  
 MASTER PLAN FOR JESUP AND BARON'S SOUTH  
 TOWN OF WESTPORT, CONNECTICUT  
 SCALE: 1"=100'

**Weston & Sampson.**





#### LEGEND

BUILDING



#### EXISTING FACILITIES

LIBRARY

- PARKING - 108 SPACES (LIBRARY LOT)  
 - 171 SPACES (ADJACENT LOT)  
 - 82 SPACES (ADJACENT NW LOT)

#### NOTES:

1. SETBACKS FRONT/SIDE/REAR 30'/25'/25'
2. PROPOSED BUILDING COVERAGE : 71,600 SF
3. PROPOSED DRIVEWAY/PARKING COVERAGE : 185,300 SF



#### PROPOSED FACILITIES

WESTPORT WESTON FAMILY Y

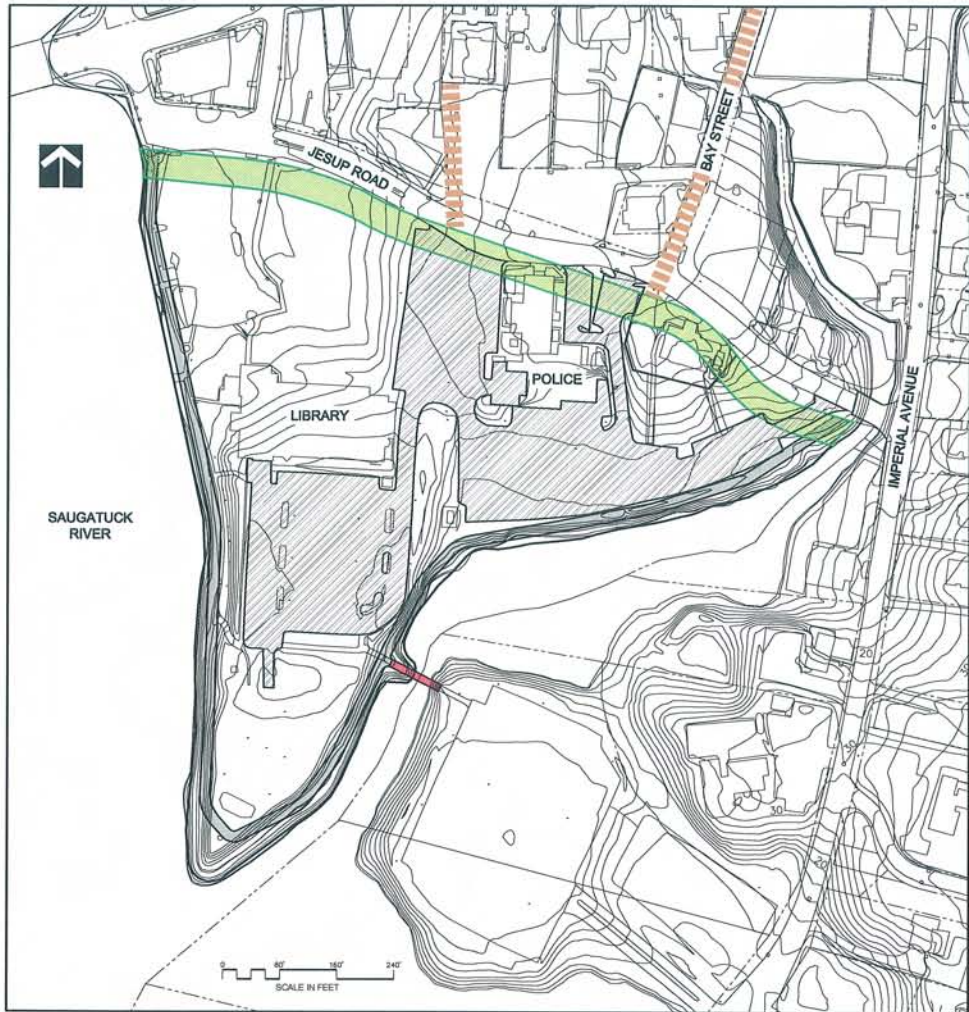
PARKING - 300 TO 400 SPACES

**CONCEPTUAL LAYOUT D**  
**WESTPORT WESTON FAMILY Y - JESUP PROPERTY**  
**MASTER PLAN FOR JESUP AND BARON'S SOUTH**  
**TOWN OF WESTPORT, CONNECTICUT**  
 SCALE: 1"=80'

**Weston & Sampson.**

Appendix E  
Conceptual Layouts for Jesup Green





#### LEGEND

BUILDING  
RIVERWALK  
STREETSCAPE ENHANCEMENT ZONE  
STRONG PEDESTRIAN CONNECTION  
PARKING OVERLAY  
PEDESTRIAN BRIDGE ENHANCEMENT



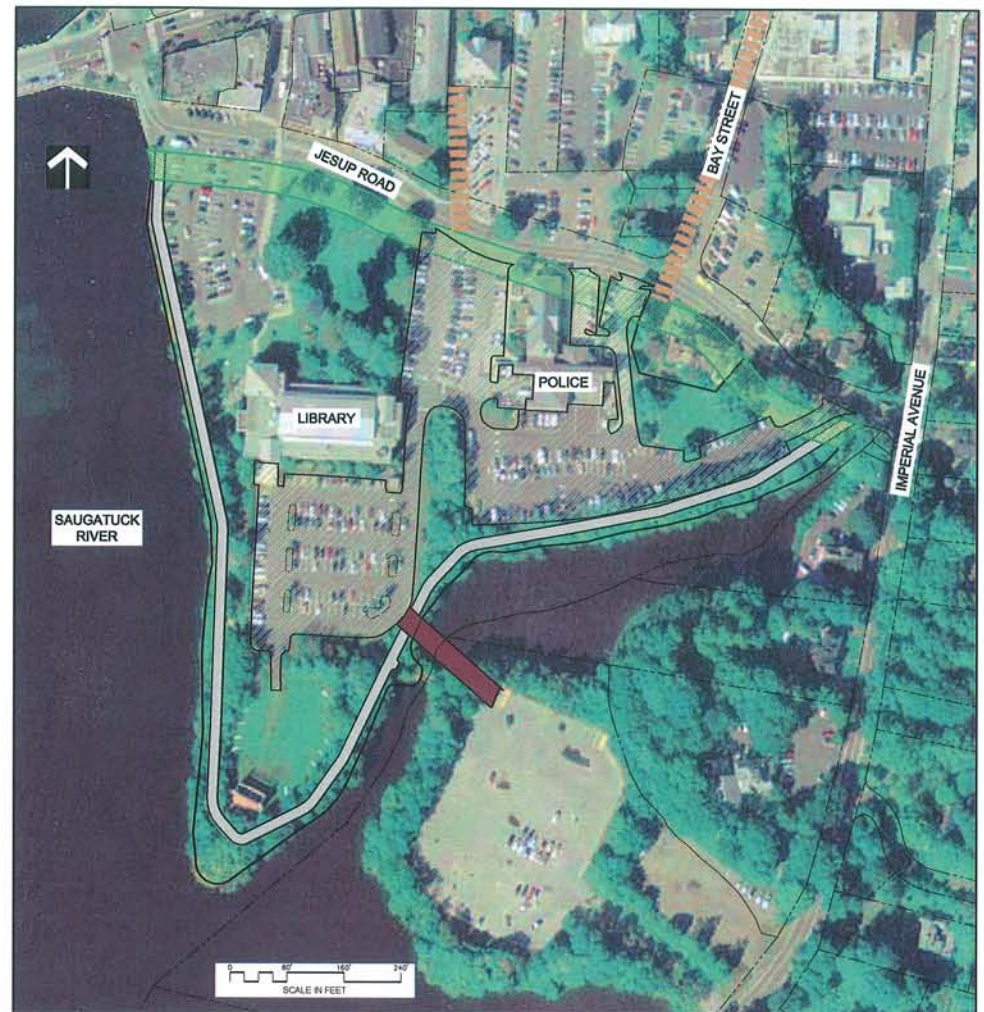
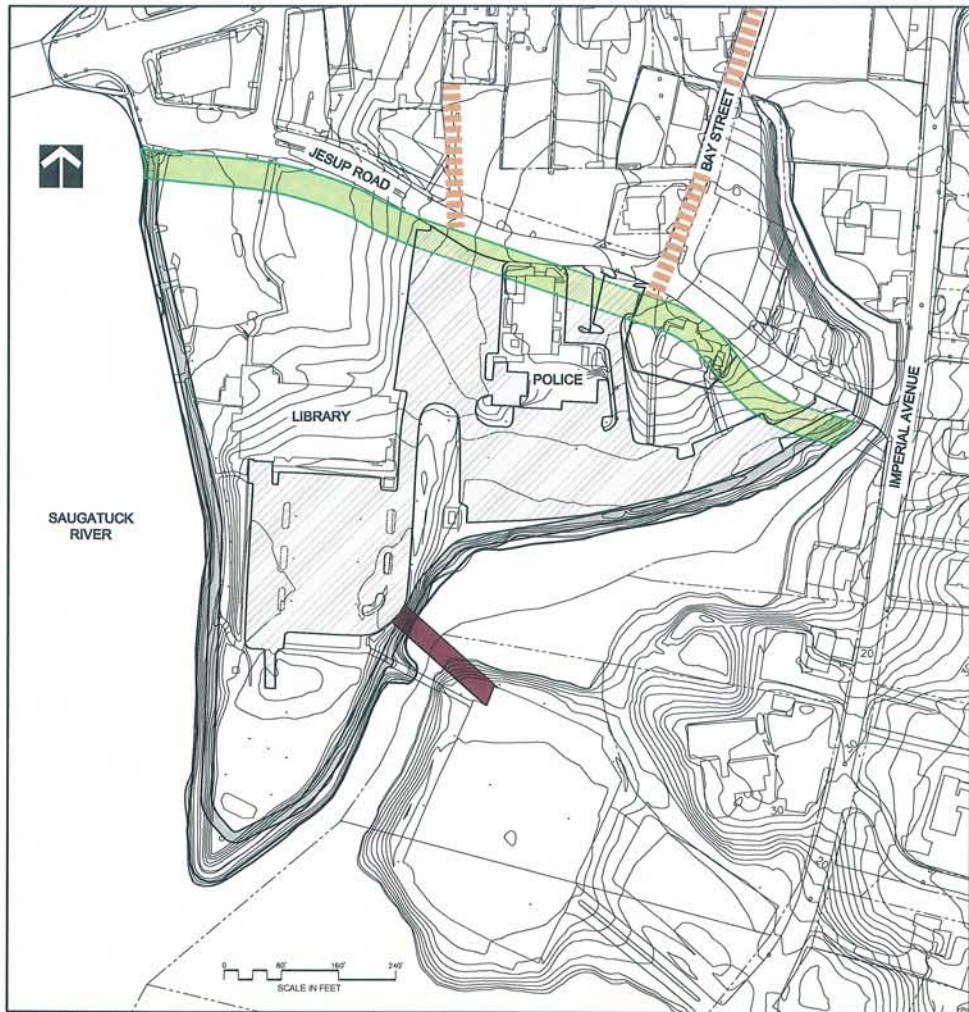
#### EXISTING FACILITIES

POLICE DEPARTMENT  
LIBRARY  
PARKING - 115 SPACES (LIBRARY LOT)  
- 100 SPACES (POLICE LOT)  
- 183 SPACES (IMPERIAL LOT)  
- 82 SPACES (ADJACENT NW LOT)

**CONCEPTUAL LAYOUT A**  
**JESUP PROPERTY**  
MASTER PLAN FOR JESUP AND BARON'S SOUTH  
TOWN OF WESTPORT, CONNECTICUT  
SCALE: 1"=80'

**Weston&Sampson.**





# **LEGEND**

- BUILDING
- RIVERWALK
- STREETSCAPE ENHANCEMENT ZONE
- STRONG PEDESTRIAN CONNECTION
- PARKING OVERLAY
- VEHICULAR BRIDGE

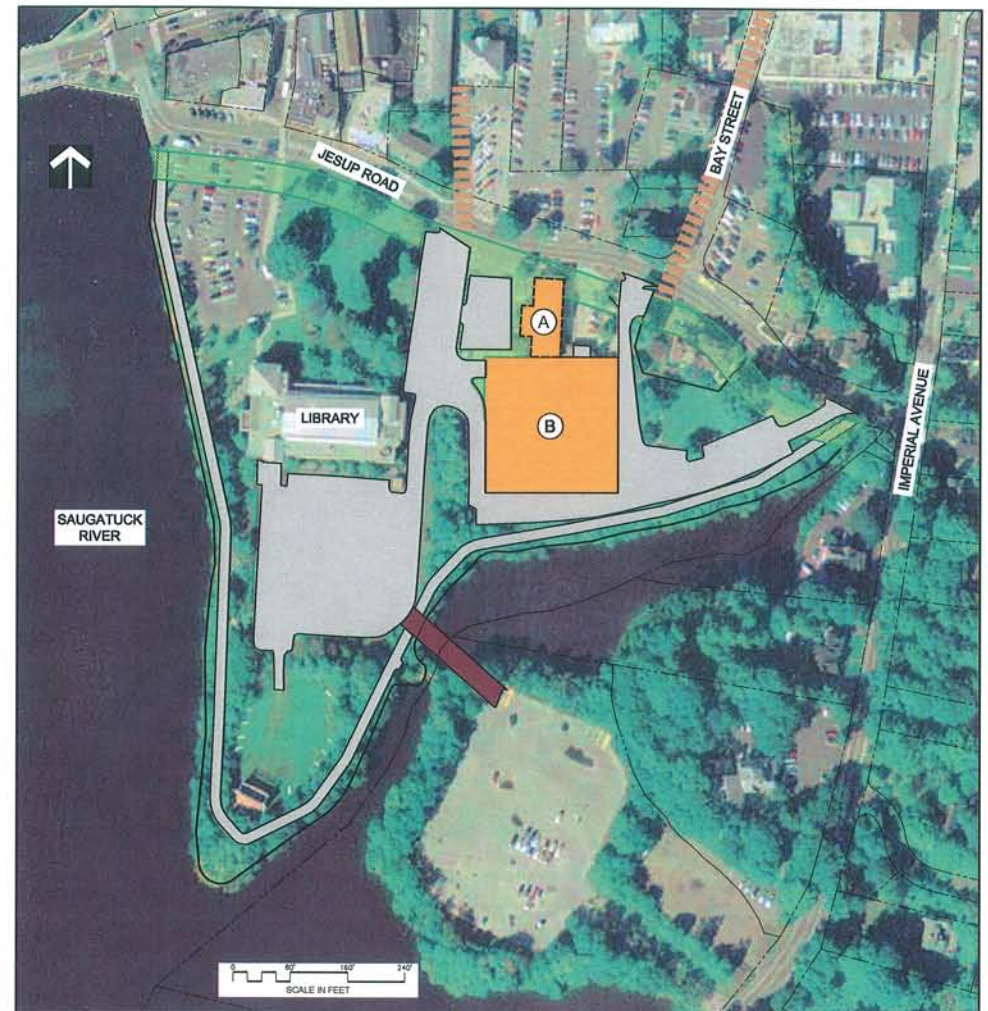
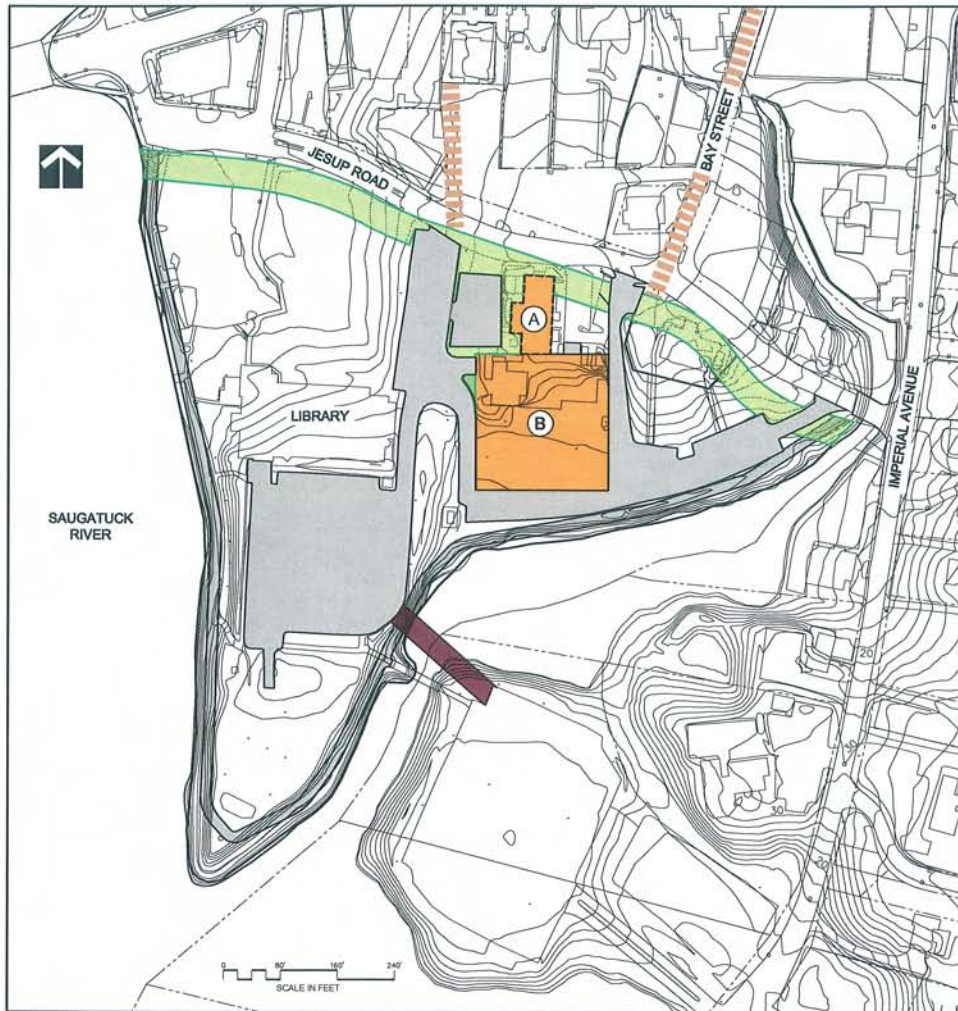


# **EXISTING FACILITIES**

- POLICE DEPARTMENT
- LIBRARY
- PARKING - 115 SPACES (LIBRARY LOT)
- 100 SPACES (POLICE LOT)
- 183 SPACES (ADJACENT LOT)
- 82 SPACES (ADJACENT NW LOT)

**CONCEPTUAL LAYOUT B**  
**JESUP PROPERTY**  
**MASTER PLAN FOR JESUP AND BARON'S SOUTH**  
**TOWN OF WESTPORT, CONNECTICUT**  
**SCALE: 1"=80'**  
**Weston&Sampson.**





# **LEGEND**

- BUILDING
- RIVERWALK
- STREETSCAPE ENHANCEMENT ZONE
- STRONG PEDESTRIAN CONNECTION
- DRIVEWAY/PARKING
- VEHICULAR BRIDGE



# **EXISTING FACILITIES**

- LIBRARY
- PARKING - 115 SPACES (LIBRARY LOT)
- 35 SPACES (FORMER POLICE LOT)
- 183 SPACES (ADJACENT LOT)
- 82 SPACES (ADJACENT NW LOT)

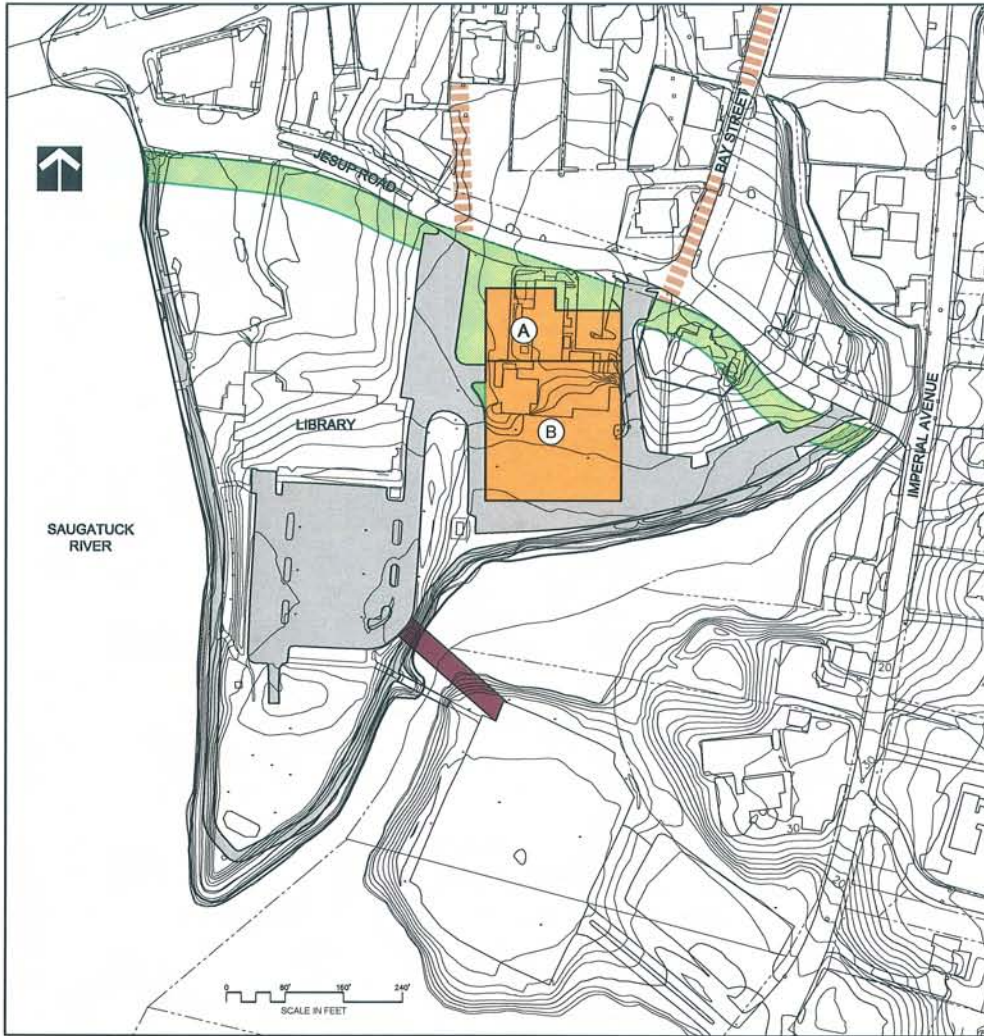
# **PROPOSED FACILITIES**

- A - COMMUNITY CENTER (EXISTING BUILDING)
- B - PARKING GARAGE - 200 SPACES

**CONCEPTUAL LAYOUT C**  
**JESUP PROPERTY**  
 MASTER PLAN FOR JESUP AND BARON'S SOUTH  
 TOWN OF WESTPORT, CONNECTICUT  
 SCALE: 1"=80'

**Weston&Sampson.**





#### LEGEND

BUILDING  
RIVERWALK  
STREETSCAPE ENHANCEMENT ZONE  
STRONG PEDESTRIAN CONNECTION  
DRIVEWAY/PARKING  
VEHICULAR BRIDGE

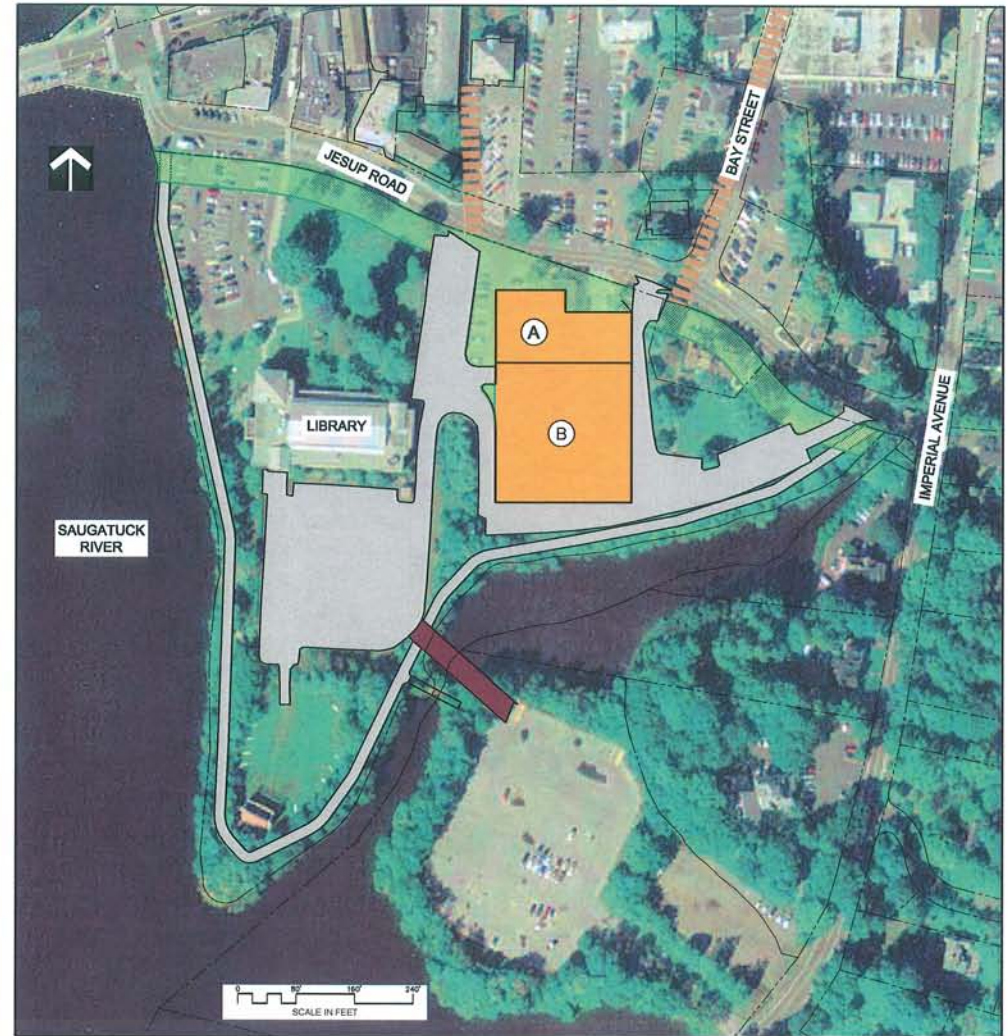


#### EXISTING FACILITIES

LIBRARY  
PARKING - 115 SPACES (LIBRARY LOT)  
- 183 SPACES (ADJACENT LOT)  
- 82 SPACES (ADJACENT NW LOT)

#### PROPOSED FACILITIES

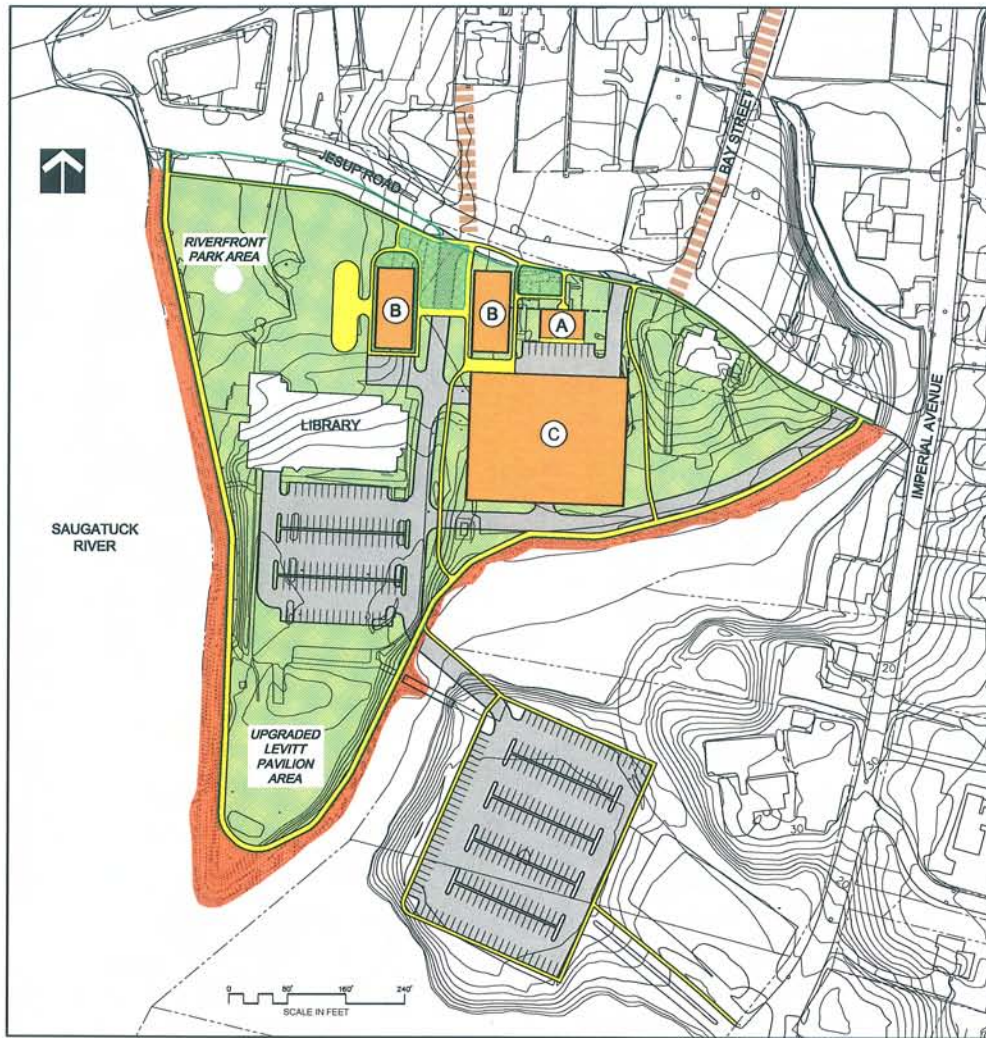
A - COMMUNITY CENTER  
B - PARKING GARAGE - 200 SPACES



**CONCEPTUAL LAYOUT D**  
**JESUP PROPERTY**  
MASTER PLAN FOR JESUP AND BARON'S SOUTH  
TOWN OF WESTPORT, CONNECTICUT  
SCALE: 1"=80'

**Weston & Sampson.**





#### LEGEND

BUILDING  
 SIDEWALK/RIVERWALK  
 STREETScape/LANSCAPING  
 STRONG PEDESTRIAN CONNECTION  
 DRIVEWAY/PARKING  
 VEHICULAR BRIDGE  
 RIVERFRONT ENHANCEMENT



#### EXISTING FACILITIES

LIBRARY  
 PARKING - 108 SPACES (LIBRARY LOT)  
 - 171 SPACES (IMPERIAL LOT)  
 - 82 SPACES (ADJACENT NW LOT)

#### PROPOSED FACILITIES

A - BUILDING (2,400 SF FOOTPRINT)  
 B - BUILDING (5,000 SF FOOTPRINT)  
 C - PARKING GARAGE - 250 SPACES



#### NOTES:

1. SETBACKS FRONT/SIDE/REAR 30'/25'/25'
2. PROPOSED BUILDING COVERAGE : 74,400 SF
3. PROPOSED DRIVEWAY/PARKING COVERAGE : 155,400 SF

**CONCEPTUAL LAYOUT E**  
**JESUP PROPERTY**  
**MASTER PLAN FOR JESUP AND BARON'S SOUTH**  
**TOWN OF WESTPORT, CONNECTICUT**  
 SCALE: 1"=80'

**Weston & Sampson**





#### LEGEND

BUILDING  
SIDEWALK/RIVERWALK  
STREETSCAPE/LANDSCAPING  
STRONG PEDESTRIAN CONNECTION  
DRIVEWAY/PARKING  
VEHICULAR BRIDGE  
RIVERFRONT ENHANCEMENT



#### EXISTING FACILITIES

LIBRARY  
PARKING - 108 SPACES (LIBRARY LOT)  
- 171 SPACES (IMPERIAL LOT)  
- 82 SPACES (ADJACENT NW LOT)

#### PROPOSED FACILITIES

A - BUILDING (2,400 SF FOOTPRINT)  
B - BUILDING (11,000 SF FOOTPRINT)  
C - BUILDING (8,000 SF FOOTPRINT)  
D - PARKING GARAGE - 225 SPACES



#### NOTES:

1. SETBACKS FRONT/SIDE/REAR 30'/25'/25'
2. PROPOSED BUILDING COVERAGE : 77,900 SF
3. PROPOSED DRIVEWAY/PARKING COVERAGE : 162,200 SF

**CONCEPTUAL LAYOUT F  
JESUP PROPERTY**  
MASTER PLAN FOR JESUP AND BARON'S SOUTH  
TOWN OF WESTPORT, CONNECTICUT  
SCALE: 1"=80'

**Weston & Sampson.**





#### LEGEND

- BUILDING
- RIVERWALK
- STREETSCAPE ENHANCEMENT ZONE
- STRONG PEDESTRIAN CONNECTION
- PARKING OVERLAY
- PEDESTRIAN BRIDGE ENHANCEMENT



#### EXISTING FACILITIES

- LIBRARY
- PARKING - 108 SPACES (LIBRARY LOT)
- 171 SPACES (IMPERIAL LOT)
- 82 SPACES (ADJACENT NW LOT)

#### NOTES:

1. SETBACKS FRONT/SIDE/REAR 30'/25'/25'
2. PROPOSED BUILDING COVERAGE : 71,600 SF
3. PROPOSED DRIVEWAY/PARKING COVERAGE : 185,300 SF



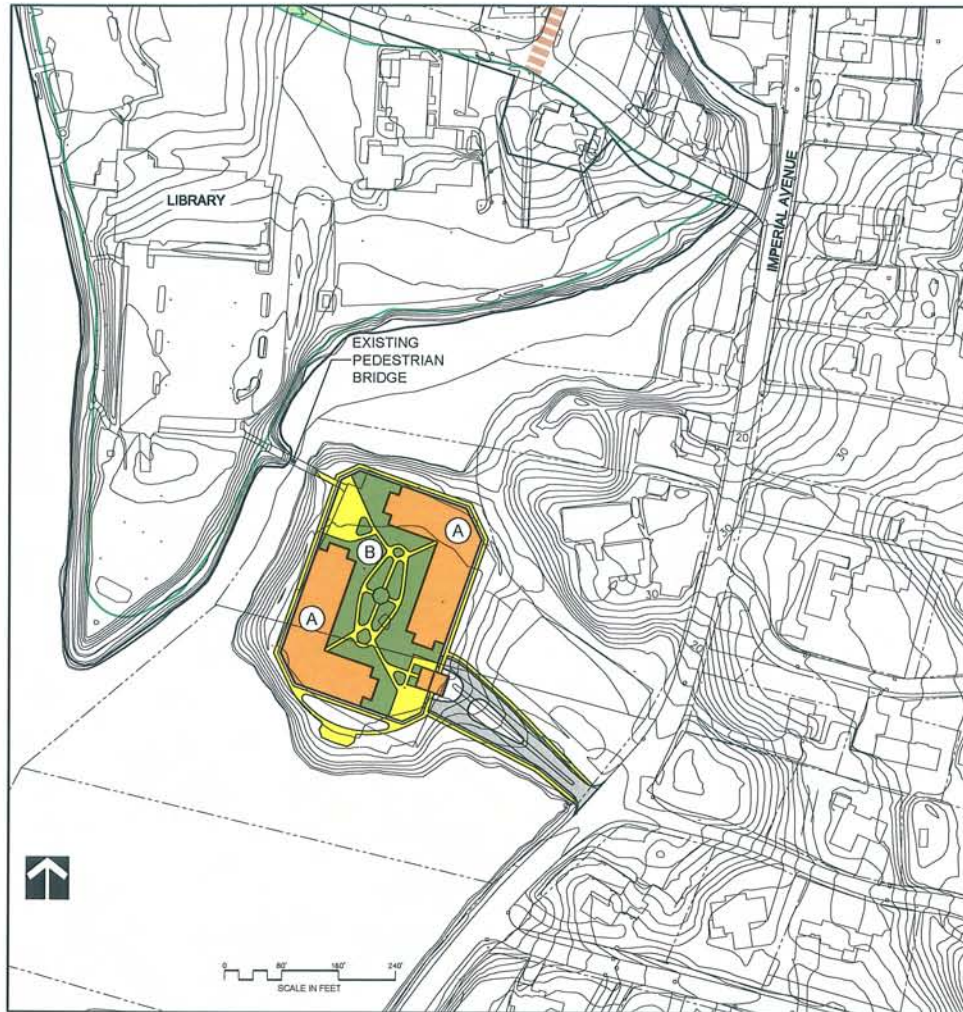
#### PROPOSED FACILITIES

- A - BUILDING (7,200 SF FOOTPRINT)
- 1 - POLICE DEPARTMENT
- 2 - EMERGENCY MEDICAL SERVICES
- B
- 3 - MAINTENANCE GARAGES
- 4 - FIRING RANGE
- C - PARKING GARAGE - 170 SPACES
- D - PARKING GARAGE - 70 SPACES

**CONCEPTUAL LAYOUT G**  
**JESUP PROPERTY**  
**MASTER PLAN FOR JESUP AND BARON'S SOUTH**  
**TOWN OF WESTPORT, CONNECTICUT**  
 SCALE: 1"=80'

**Weston&Sampson.**





#### LEGEND

BUILDING	Orange
GARAGE	Green
DRIVEWAY	Grey
SIDEWALK	Yellow

#### EXISTING FACILITIES

LIBRARY	
PARKING - 108 SPACES (LIBRARY LOT)	
- 171 SPACES (IMPERIAL LOT)	
- 82 SPACES (ADJACENT NW LOT)	

#### NOTES:

1. SETBACKS FRONT/SIDE/REAR : 30'/25'/25'
2. PROPOSED BUILDING COVERAGE : 64,300 SF
3. PROPOSED DRIVEWAY COVERAGE : 9,600 SF



#### PROPOSED FACILITIES

A	3 STORY WORK FORCE HOUSING - 30 UNITS EACH (60 TOTAL)
B	FIRST FLOOR GARAGE WITH TERRACE ABOVE - 145 SPACES

**CONCEPTUAL LAYOUT H**  
**IMPERIAL AVENUE HOUSING**  
 MASTER PLAN FOR JESUP AND BARON'S SOUTH  
 TOWN OF WESTPORT, CONNECTICUT  
 SCALE: 1"=80'

**Weston & Sampson.**

## Appendix F

### Sample Renderings





*View Along Front of Parking Garage*  
Westport, CT

Prepared By:  
Weston & Sampson Engineers, Inc.





*View Along River Walk*  
Westport, CT



*View of Park Area*  
Westport, CT



## Appendix G

### Housing Summit Presentation Materials

# Westport Affordable Housing Summit

December 12, 2006



# Connecticut General Statutes

## §8-30g

- Legislation adopted in 1989 and updated in 2000 to promote affordable housing in Connecticut
- Set-aside at least 30% of the units as affordable.
- State goal 10% affordable housing in the town.

# Existing Affordable Units

- The 2000 census showed that Westport has 10,065 housing units.
- According to the Connecticut Department of Economic and Community Development, Westport has 2.19% affordable housing which equals 220 units of affordable housing as of 4/13/06.
- In October 2006, the P&Z Commission adopted a new regulation to allow Supportive Housing and approved the construction of 6 units of Supportive Housing at 10 West End Avenue.

# Income Limits

- State median income = \$81,000/year
- Area median income = \$116,300/year
- CGS §8-30g requires that income limits are based on the lower of the state or area median income. These income limits range from \$34,020- \$85,536/year depending on number of persons in a family.



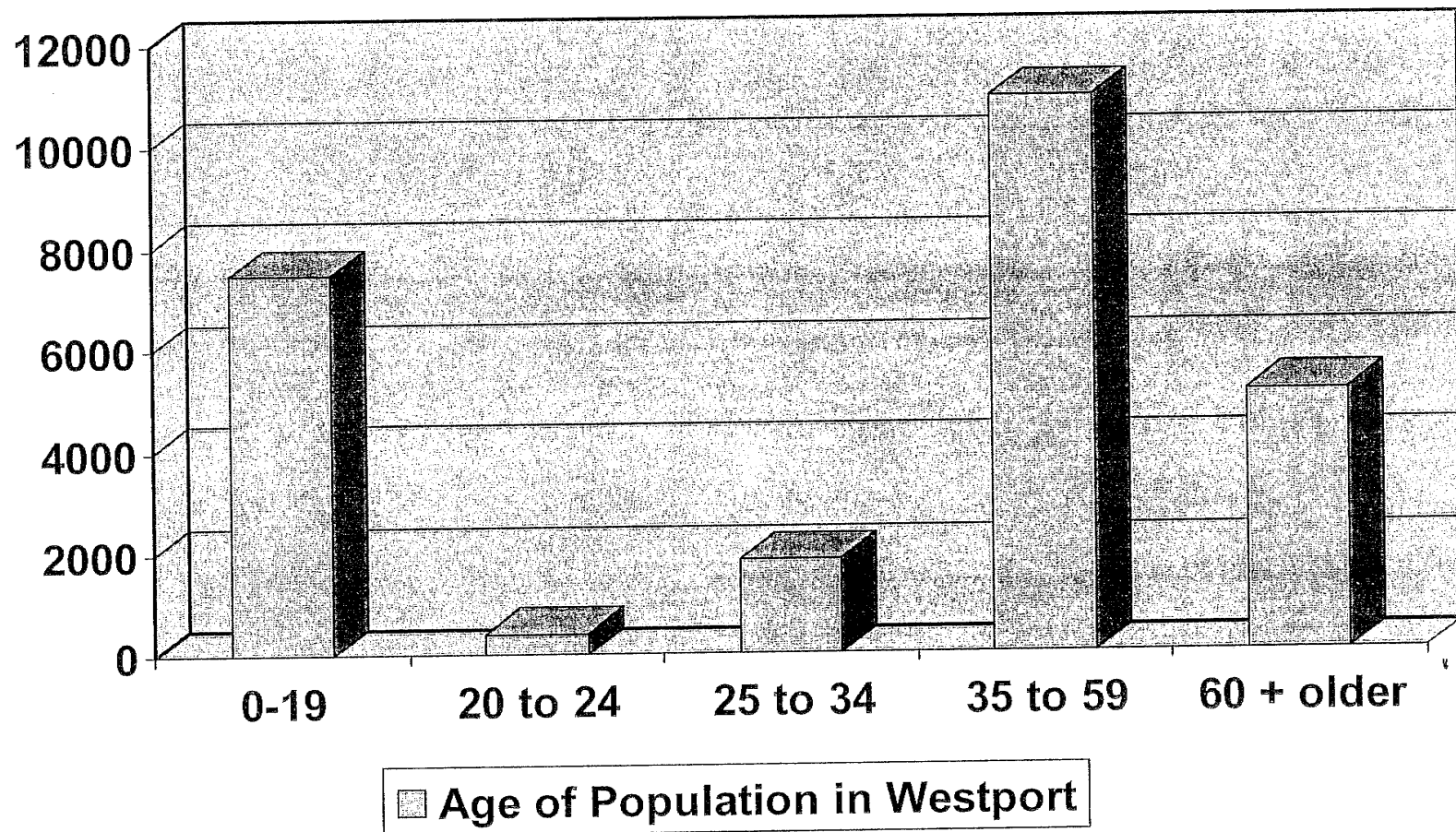
# Westport Housing Costs

- Median sale price of a home in Westport from Jan through Sept 2006 was \$1,312,500, per MLS.
- 20% down payment = \$262,500.
- Monthly mortgage payment = \$6,986 (based on 7% interest for 30 years and taxes of \$19,569/yr)
- Income required for the purchase of a home of this cost is \$25,851/mo = \$310,212/year.

# Income in Westport

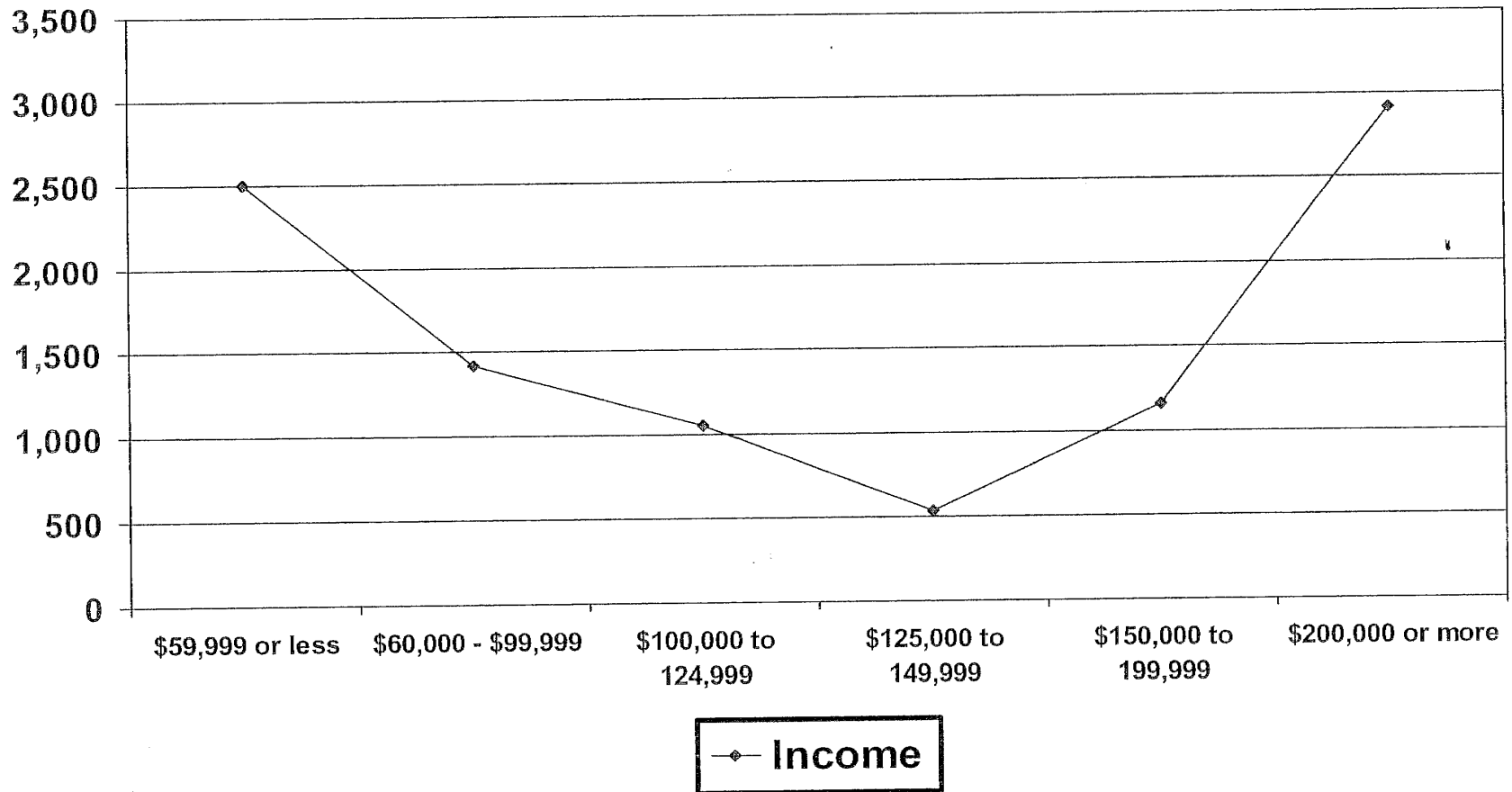
- Median income in Westport is \$158,894 according to the 2000 census.
- There is a need to serve families who have an income of between \$85,000/year (which would qualify for affordable housing under §8-30g) and \$158,894/year (which is the median income of Westport).

# Westport Population

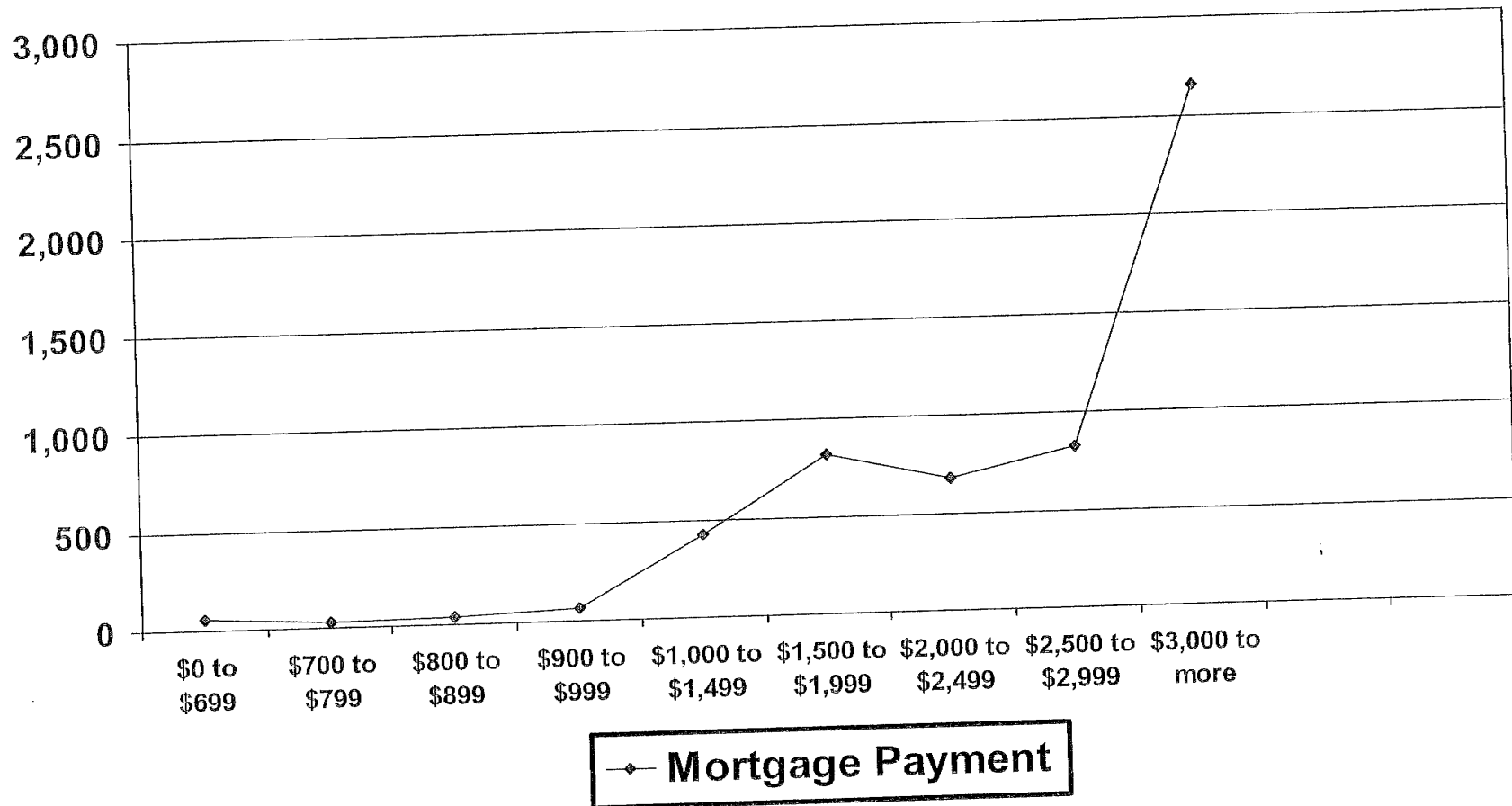




# Westport Income Ranges



# Westport Monthly Mortgage Payments



# Possible Solutions

- A possible solution is for the Town of Westport to offer “workforce housing” to families whose income is between 60% and 80% of the median income for Westport.

- $60\% \text{ of } \$158,894 = \$95,336$

- $80\% \text{ of } \$158,894 = \$127,115$

	60% of Westport median income	80% of Westport median income
Income Limit	\$95,336	\$127,115.
Monthly housing payment	\$1,600	\$2,383
Unit Sale price (assuming 20% down payment)	\$300,000	\$450,000



# Affordable and Middle Income Housing on Town-owned Property

- Zoning regulations Section 32-17 currently has text to allow Affordable and Middle Income Housing on Town-Owned property which defines middle income as  
“housing for persons or families earning up to or equal to 80% of the median income of the Stamford Norwalk Service Area”.
- Median income for the Stamford Norwalk Area = \$116,300. 80% of that figure is \$93,040.

Appendix H  
Meeting Notes for Animal Control, Emergency Services, Fire  
and Police Departments

**Office Area:**

Number of desks – two desks  
Public viewing & acquaintance room -  
HC lav  
Storage

**Kennel Area:**

Animal Receiving area –  
    Countertop with sink  
    Stainless steel table  
  
Number of kennels – nine pens  
    4" CMU partition between pens-  
    Covered outdoor runs -  
  
Number of Isolation pens- one  
    4" CMU partitions between pens-  
    (1) isolation pen is required per 10 indoor runs  
  
Dog wash area -- near animal receiving area  
  
Food Storage -/ Prep area  
  
Outside caged area –  
  
Walk in Freezer – dead animal storage – accessible from the outside only

**Cat Area:**

Not required

**Other Areas:**

Storage  
Mechanical Room -  
Laundry Area – towel / blankets etc.  
    (1) dryer  
    (1) washer



**Building elements:**

Building materials – maintenance free  
HVAC –  
Air Conditioning – as required by code  
(max. 90 degrees in kennel area )

**Building square footage**

Approx. 2,500 sf to 4,000 sf.

Six paid officers -

- Coordinator
- Training officer
- Medical records officer
- Supply officer
- Vehicle officer

Volunteers -

- 18 Crew chiefs
- 82 EMT's
- 25 Explorers

12 non-certified CPR instructors and support members

**Ambulance Garage:**

Four bay apparatus garage - (three ambulances and one paramedic vehicle)

- 50' deep - x 16' wide

- 12'-0"x 10'-0" overhead doors

Decon room - stainless steel sink with compress air outlets'

Medical storage -

Oxygen Storage - tub with cold water tap

Maintenance room -

Mass Casualty Storage -

EMS Bulk storage and equipment

Vehicle Maintenance garage - shared with police department

**Office Area:**

Duty Crew Chief - shift supervisor

- Two desks with two side chairs

- 48 mailboxes

Copier room -

- Supply storage

Dayroom

- Table chairs

- Chairs

- TV

Kitchen - not open to the public

Utility Room

Quiet Study

First aid room – walk in patients – medical supplies and equipment  
(near front door)  
Uniform storage –  
Volunteer officers – two desks and two side chairs each  
Volunteer committees – one desk with four side chairs  
EMS office – four desks each with a side chair  
EMS billing office – two desks with one side chair each  
Training officer – two desks, six foot countertop and two side chairs  
EMS Coordinator – one desk and two side chairs  
Large Classroom – 120 people (share with Police department)  
    Divide large room into smaller rooms  
    Storage for equipment  
Smaller Classroom – 48 people at tables  
Classroom lobby – kitchenette  
Public lavatories -  
Training and CPR Storage  
    Two rooms – materials accessed by duty crews  
        Material storage – stretches, boards oxygen tanks, etc.  
Conference Room- 16 to 20 people  
    Table storage  
    Chair storage

### **Residential Area:**

Two bunk rooms – 5 bunks each  
Crew chief and paramedic sleeping quarters  
Locker room – 120 12”x36”

### **Building Elements:**

Number of stories – two stories  
Elevator – yes  
Antenna – (may be combined with Fire department)  
Additional parking for personal cars –  
Mechanical rm.

### **Building Square Footage**

Existing conditions = 5,231 sf  
Shared with Police department = 3,726 sf

50' x 16' x 4 bays = 3,200 sf of apparatus garage  
office and residence = 7,176 sf (includes shared training and classroom spaces)  
10,376 sf total



88 full time officers  
6 patrol officers  
2 supers  
2 desk  
2 animal control officers

**Office Area:**

Chief's office  
Assistant Chief's office -  
Staff offices -  
Dare officer  
Dispatch -three desks with monitors on the walls  
Records department (open office with six desks)  
Conferences rooms shared with EMS

Shift commanders - (2)  
Small offices for officers to fill out forms and write reports  
Patrol LT.  
Armory  
Roll call Room -  
Training room  
Booking Area -  
    Finger printing  
    Holding cells with cameras  
        Mens' (five)  
        Youth and Women (one each)  
    Prisoner - property lockers (15"x30") 8 lockers  
    Showers -

Youth officers (2)  
Detective Lt. - (1) and 4 detectives  
Detectives - two shared offices  
Interview Rooms - two with cameras and video taping  
Support staff - (1)  
Copier area  
Conference - 10 people

Communications officer -3 officers

Media office  
Computer room  
Computer training area

Evidence office -  
Evidence Room(s) –  
    Dry item – large room with shelves and area to store large items  
    Secure storage - Money and drug storage –  
    Cold storage –

Kitchen /- not open to the public  
    Day room with table and chairs

Locker Room  
    Men's – 90 lockers  
    Women's- 15 lockers

Exercise Room –  
HC lavs  
Private Lavs

Garage area – three bays for vehicle maintenance (shared with EMS)  
Sally port – prisoners  
Garage – loading equipment and weapons

### **Building Elements:**

Number of stories – three stories (two stories with basement)  
Elevator – yes  
Antenna – yes (may be combined with Fire department)  
Firing Range – separate building – above ground for mechanical exhaust requirements  
(min. 3 to 4 lanes)  
Covered vehicles –  
    Cars# 63  
    Vans# -  
    Boats = 3  
    Parking for 93 cars

### **Building Square Footage**

Police dept. - Existing conditions – approx. 21,883 sf  
EMS - Existing conditions – approx. 5,231 sf  
Shared spaces – Existing conditions – approx. 3,726 sf

Police station – 20,000 sf

Separate building – gun cleaning / repair area and Firing range (three lanes)  
Approx. 2,000 to 3,000sf

Vehicle garage for both the Police Department and EMS – Approx. 2,500 sf

Covered police vehicles – 63 vehicle (if possible)

See EMS for shared space square footage



**Fire Department Headquarters :**

Chief's office -  
Assistant Chief's  
Staff office -  
Fire marshal office-  
Fire Inspector -  
File room-  
Conference room- two  
High Density Storage-  
Copy area-  
Administrative staff-  
Training rooms - (one) large room that can be divided into two rooms -  
(two) smaller conference rooms  
Storage for fire marshal - locked caged area (evidence storage)  
File storage -  
Storage - equip.  
Other  
Telephone and Computer Rooms - temperature and humidity controlled for  
equipment  
Dedicated emergency operations center room  
Dispatch -

**Building Department :**

Building Inspector's office  
Assistant inspectors - open office for four  
Administrative staff -  
Storage - files and drawings  
Copier area

**Residential Area:**

Number of staff per shift -12 to 16  
Kitchen - commercial layout (the building is set up as an emergency operation  
center)  
Day room -  
Chairs  
TV

Table and chairs	
Men's locker room	32 lockers
Women's locker room	6 lockers
Men's bunk room	16 /beds
Women's bunk room	4 beds
Chief's bunk room	1 bed
Laundry – washer and laundry (linen and clothes)	
Storage –	
Workout room – gym	

### **Apparatus Area Information:**

Drive thru bays - No  
 Four bays – double loaded  
 Truck Maintenance-  
     Column lifts – provide enough head room to raise trucks for repairs  
 14'-0" x 14'-0" apparatus doors – review swinging door option  
 Watch room -  
 Maintenance room -  
 Decon Room  
 Washer / dryer area – uniform laundry  
 Uniform lockers – separate room off apparatus garage  
 Compressor room – reuse existing equipment  
 Storage –  
 Tool Room -  
 Scuba Room- boat storage and equipment

### **Building elements:**

Building materials – not discussed  
 Number of stories – two stories  
 Sprinkler system - yes  
 Air Conditioning – yes  
 Emergency Generator - Entire building  
 Antenna (shared with Police department)  
 Training Tower  
 Fuel dispensing for all departments

### **Building Square Footage**

Approx. 22,000 sf to 24,000 sf square footage